

**CITY OF PALMERSTON**

**Minutes of Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 15 September 2015 at 6.30pm**

**Audio Disclaimer**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Sue McKinnon  
Alderman Andrew Byrne  
Alderman Paul Bunker  
Alderman Geoff Carter  
Alderman Seranna Shutt

**Staff:** Ricki Bruhn, Chief Executive Officer  
Mark Spangler, Director of Technical Services  
Silke Reinhardt, Acting Director of Corporate Services  
Jan Peters, Acting Director of Community Services  
Emily Fanning, Minute Secretary

**Gallery:** 7 members of the public

**2. APOLOGIES**

Nil

**3. CONFIRMATION OF MINUTES**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Shutt

1. THAT the minutes of the Council Meeting held Tuesday, 1 September 2015 pages 8058 to 8064 be confirmed.
2. THAT the minutes of the Special Council Meeting held Wednesday, 2 September 2015 pages 8065 to 8066 be confirmed.

**CARRIED 8/1657–15/09/2015**

**4. MAYOR'S REPORT**

**M8-13**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Shutt

THAT Council receives Report Number M8-13.

**CARRIED 8/1658–15/09/2015**

**5. REPORT OF DELEGATES**

Nil

**6. QUESTIONS (WITHOUT DEBATE) FOR WHICH NOTICE HAS BEEN GIVEN**

Nil

**7. QUESTIONS (WITHOUT DEBATE) FOR WHICH NOTICE HAS NOT BEEN GIVEN**

Nil

**8. PETITIONS**

Nil

**9. DEPUTATIONS / PRESENTATIONS**

Nil

**10. CONSIDERATION OF MOTIONS FOR WHICH NOTICE HAS BEEN GIVEN**

Nil

**11. COMMITTEE RECOMMENDATIONS**

**11.1 Governance and Organisation**

Nil

**11.2 Economic Development and Infrastructure**

Nil

### **11.3 Community, Culture and Environment**

The Chair invited Deputy Mayor McKinnon, Chair of the Community, Culture and Environment Committee to provide a report to the meeting.

*A verbal report on the Committee Meeting held on 2 September 2015 was presented by Deputy Mayor McKinnon.*

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Shutt

THAT the minutes from the Community Culture and Environment Committee meeting held on 2 September 2015 be received and noted and that Council adopts the recommendations made by the Committee with the exclusion of Item 11.3.2 and accordingly resolves as follows:

#### **11.3.1 Conservation and Land Management Scholarship CCE/0428**

THAT the Mayor forward a letter of congratulations to Ms Cassandra Wardrop on the completion of her Bachelor of Environmental Science degree.

#### **11.3.3 Financial Support – Somerville Community Services CCE/0439**

THAT Council provide a \$4,000 grant to Somerville Community Services, to deliver events in Palmerston for National Children's Week, National Child Protection Week and National Anti-Poverty Week.

**CARRIED 8/1659–15/09/2015**

#### **11.3.2 Financial Support – The Bump, Bub and Beyond Expo CCE/0432 CCE/0433**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Shutt

THAT Council seek Gold Sponsorship for the November 2015 Bump, Bub and Beyond Expo to the value of \$7,000 subject to receipt of the Association's budget and financial position.

**CARRIED 8/1660–15/09/2015**

## **12. INFORMATION AGENDA**

### **12.1 Items for Exclusion**

### **12.2 Receipt of Information Reports**

Moved: Alderman Bunker  
Seconded: Deputy Mayor McKinnon

THAT the information item contained within the Information Agenda, be received.

**CARRIED 8/1661–15/09/2015**

## **13. DEBATE AGENDA**

### **13.1 Officer Reports**

#### **13.1.1 Professional Development Allowance – Mayor Abbott 8/0741**

Moved: Alderman Carter  
Seconded: Deputy Mayor McKinnon

1. THAT Council receives Report Number 8/0741.
2. THAT Council endorse Mayor Abbott attending the Local Government Exchange and Cooperation Seminar at the cost of \$2,300 to be paid from his Professional Development Allowance for 2015/2016.

**CARRIED 8/1662–15/09/2015**

#### **13.1.2 Proposal to Subdivide and Sell Part Lot 8576, Stuart Highway Yarrowonga 8/0738**

Moved: Alderman Bunker  
Seconded: Deputy Mayor McKinnon

1. THAT Council receives Report Number 8/0738.

**CARRIED 8/1663–15/09/2015**

Moved: Alderman Bunker  
Seconded: Deputy Mayor McKinnon

2. THAT Council seek an independent valuation on the land shown in Attachment B to Report Number 8/0738 as lots 3 & 4.
3. THAT lots 3 & 4 as shown in Attachment B to Report Number 8/0738 be offered for sale to the owners of lots 8543 & 8544 respectively.

**13.1.2 Proposal to Subdivide and Sell Part Lot 8576, Stuart Highway  
Yarrawonga (continued) 8/0738**

4. THAT a further report be provided to the EDI Committee detailing the following:
  - i. Offers made to purchase lots 3 & 4 as shown on Attachment B to Report Number 8/0738.
  - ii. Market valuation for the subject lots.
  - iii. Lot boundaries sought by the perspective purchases.
  - iv. Advice provided by Development Assessment Services on the feasibility of the proposed subdivision.
  - v. Advice provided by other relevant government departments.
  - vi. All costs.

**CARRIED 8/1664–15/09/2015**

**13.1.3 The Heights, Durack - Eastern Collector Road 8/0739**

Moved: Alderman Carter  
Seconded: Alderman Shutt

1. THAT Council receives Report Number 8/0739.

**CARRIED 8/1665–15/09/2015**

Moved: Alderman Bunker  
Seconded: Alderman Byrne

2. THAT Council accepts the CIC Pty Ltd offer of an Access Easement to accommodate the Eastern Collector Road across lot 11504 to The Heights, Durack residential development subject to the road meeting the design standards set in decision number 8/1495 -5/5/2015.
3. THAT Council does not enter into an Agreement for development of Eastern Collector Road – The Heights Durack.
4. THAT the Mayor and Chief Executive Officer be delegated the ability to apply council's seal and to sign all documents for the establishment of a road access easement on lot 11504, 80 University Avenue Durack.

**CARRIED 8/1666–15/09/2015**

**13.1.4 Financial Report for the month of August 2015**

**8/0740**

Moved: Alderman Shutt  
Seconded: Alderman Byrne

THAT Council receives Report Number 8/0740.

**CARRIED 8/1667–15/09/2015**

**13.1.5 Application for Rate Concession by Sporting Groups for Lots 4184, 11025, 2884 and 4185**

**8/0737**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Shutt

1. THAT Council receives Report Number 8/0737.

**CARRIED 8/1668–15/09/2015**

Moved: Alderman Byrne  
Seconded: Alderman Bunker

2. THAT Council grants a 100 per cent rate concession for Lot 4184 for the financial year 2015/16 under Section 167 Local Government Act with the obligation that the property owner provide Council with a copy of their constitution and latest audited financial statements.

**CARRIED 8/1669–15/09/2015**

Moved: Alderman Byrne  
Seconded: Alderman Bunker

3. THAT Council grants a 100 per cent rate concession for Lot 4185 for the financial year 2015/16 under Section 167 Local Government Act with the obligation that the property owner provide Council with a copy of their constitution and latest audited financial statements.

**CARRIED 8/1670–15/09/2015**

**MEETING PROCEDURES**

**Suspension of Standing Orders**

Moved: Alderman Bunker  
Seconded: Alderman Carter

THAT standing orders be suspended for 15 minutes to allow for open discussion

**CARRIED 8/1671–15/09/2015**

Standing orders were suspended at 7.40pm

### **Reinstatement of Standing Orders**

Moved: Alderman Bunker  
Seconded: Deputy Mayor McKinnon

THAT standing orders be reinstated.

**CARRIED 8/1672–15/09/2015**

Standing orders were reinstated at 7:53pm

#### **13.1.5 Application for Rate Concession by Sporting Groups for Lots 4184, 11025, 2884, and 4185 (continued) 8/0737**

Moved: Alderman Bunker  
Seconded: Deputy Mayor McKinnon

4. THAT the Palmerston Golf and Country Club be approached to provide a copy of their constitution and financial statements in support of their application for a rate concession.

**CARRIED 8/1673–15/09/2015**

### **14. CORRESPONDENCE**

#### **14.1 Minister for Lands and Planning decision on Concurrent Application for Lots 10539, 10541, 10550, 10552 and 10555**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Shutt

THAT Council receives correspondence 'Minister for Lands and Planning decision on Concurrent Application for Lots 10539, 10541, 10550, 10552, and 10555.

**CARRIED 8/1674–15/09/2015**

### **15. RESPONSE TO PREVIOUS QUESTIONS TAKEN ON NOTICE**

#### **15.1 Response to Previous Public Questions from Council Meeting held on 1 September 2015 8/0742**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Byrne

THAT Council receives Report Number 8/0742.

**CARRIED 8/1675–15/09/2015**

**16. PUBLIC QUESTION TIME**

*At the invitation of the Chair*

The Chair took on notice questions regarding the status of Council's loan application and Council's Rating Policy.

**17. OTHER BUSINESS - ALDERMAN REPORTS**

**17.1 Alderman Bunker – Saturday article in newspaper regarding Committee meetings.**

**17.2 Stormwater Connections in Single Dwelling and Multiple Dwelling Zoned Allotments**

Moved: Alderman Byrne  
Seconded: Alderman Bunker

THAT Council facilitate a meeting with builders and certifiers to discuss stormwater drainage requirements in accordance with the City of Palmerston Development Guidelines on residential dwellings less than 600m<sup>2</sup> by the end of October 2015.

**CARRIED 8/1676–15/09/2015**

**17.3 Alderman Shutt – Australian Local Government Women's Association Information Session**

ALGWA will be holding an information session for potential local government candidates at 7.30am at City of Darwin on Friday 18 September 2015.

**Sporting / Recreational Club Rates Concession Policy**

Moved: Alderman Shutt  
Seconded: Deputy Mayor McKinnon

THAT a report be brought to the Governance and Organisation Committee on sporting and recreational clubs rates concession policy.

**CARRIED 8/1677–15/09/2015**

**17.4 Call for Nomination – Vice President, LGANT Executive Board**

Moved: Deputy Mayor McKinnon  
Seconded: Alderman Carter

THAT Mayor Abbott be nominated for the position of Vice President on the LGANT Executive Board.

**CARRIED 8/1678–15/09/2015**



## 18. CONFIDENTIAL REPORTS

### 18.1 Amendment to Contract IT2014-01

8/0736

Moved: Alderman Byrne  
Seconded: Alderman Carter

1. THAT pursuant to Section 65 of the Local Government Act, Council orders that the public be excluded from the meeting with the exception of the Chief Executive Officer, Acting Director of Corporate Services, Acting Director of Community Services, Director of Technical Services and Minute Secretary on the basis that Council considers it necessary and appropriate to act in a manner closed to the public in order to receive, discuss and consider the report and associated documents in relation to confidential agenda item 18.1 Amendment to Contract IT2014-01 and that Council is satisfied that the meeting should be conducted in a place open to the public is outweighed in relation to the matter because receiving, considering and discussing the report and associated documentation involves:

(c) information that would, if publicly disclosed, be likely to:

- (i) cause commercial prejudice to, or confer an unfair commercial advantage on, any person

This item is considered confidential pursuant to Regulation 8 (c)(i) of the Local Government (Administration) Regulations.

2. THAT Council orders that the minutes from the Confidential Council meeting held on 15 September 2015, in relation to confidential item number 18.1 Amendment to Contract IT2014-01 to remain confidential for 4 years.

**CARRIED 8/1679–15/09/2015**

**The meeting moved into the Confidential Session at 8:23pm**

## 19. CLOSURE

Meeting closed at 8.25pm

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(Chair)

**CITY OF PALMERSTON**

**Minutes of Confidential Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 18 March 2014 at 7:54pm**

**RELEASED TO THE PUBLIC RECORD**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Andrew Byrne  
Alderman Sue McKinnon  
Alderman Paul Bunker  
Alderman Geoff Carter  
Alderman Heather Malone

**Staff:** Ben Dornier, Acting Chief Executive Officer  
Mark Spangler, Director of Technical Services  
Caroline Hocking, Minute Secretary

**2. APOLOGIES**

Alderman Shutt – Apology

**ACCEPTANCE OF APOLOGIES AND LEAVE OF ABSENCE**

Moved: Alderman Malone  
Seconded: Alderman Bunker

THAT the apology received by Alderman Shutt, be received and granted.

**CARRIED 8/0991–18/03/2014**

**3. DEPUTATIONS / PRESENTATIONS**

Nil

**4. OFFICER REPORTS**

**4.1 Valuation for Part Lot 11113**

**TO REMAIN CONFIDENTIAL AS PER RESOLUTION NUMBER 8/0990-18/03/2014**

**4.2 Expression of interest for the provision of external auditing services for the four years ending 30 June 2017** **GOC/0094**

Moved: Deputy Mayor Byrne  
Seconded: Alderman Bunker

1. THAT Council receives Committee Recommendation GOC/0094.
2. THAT Council appoint UHY Haines Norton as external auditor for the four years ending 30 June 2017.

**CARRIED 8/0992–18/03/2014**

**5. MOVE TO OPEN**

Moved: Alderman Carter  
Seconded: Alderman McKinnon

THAT the Council move into the open session.

**CARRIED 8/0993–18/03/2014**

The meeting moved to the Open session at 7:57pm.

**CONFIRMED AT MEETING TO BE HELD 1 APRIL 2014**

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(Chair)

**ITEM NO.** 12.1      **Expression of interest for the provision of external auditing services for four years ending 30 June 2017**  
**FROM:**                **Director of Corporate and Community Services**  
**REPORT NUMBER:**   **GOC/0041**  
**MEETING DATE:**     **13 March 2014**

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**Municipal Plan:**

**4. Governance & Organisation**

**4.1 Responsibility**

We are committed to corporate and social responsibility, the sustainability of Council assets and services, and the effective planning and reporting of Council performance to the community

**Summary:**

The City of Palmerston has called for expressions of interest for the provision of external auditing services for the four years ending 30 June 2017 as the current auditor's term of office (Merit Chartered Accountants) expires.

Under Part 10.8 Division 1 Section 133 (4) (a) Local Government Act City of Palmerston must appoint an auditor for a fixed term of not less than two and nor more than five years.

City of Palmerston has received a total of five applications under the expression of interest that have been considered in the assessment.

**Background:**

The assessment of the five applicants has been conducted by senior finance staff and reviewed by the Director of Corporate and Community Services and the Chief Executive Officer.

Evaluation was driven by the following criteria: Price, Local Government experience of key staff, past performance, methodology and current commitments. Criteria have been weighted in importance and scored individually to calculate a comparable overall score.

The following table outlines the applicants quoted price and the overall score of assessment:

<b>Applicant</b>	<b>Value excl. GST</b>	<b>Score</b>
UHY Haines Norton	\$ 114,845	4.8
Merit	\$ 116,353	4.5
Deloitte	\$ 137,241	4.2
KPMG	\$ 117,759	4.0
Barry Hansen	\$ 142,723	2.7

UHY Haines Norton has proven significant local government experience and competitive pricing. The proposed audit approach includes an interim audit on location in April as well as a review of audit files in September on location. Furthermore UHY Haines Norton included in their pricing a meeting with the Audit Committee on matters relating to the audit.

Senior Management recommends to the internal audit committee to recommend to Council the appointment of UHY Haines Norton as external auditor for the four years ending 30 June 2017.

### **Financial Implications:**

The cost for Council to engage UHY Haines Norton will be \$136,665 over a four year period based on an assumption of 4% CPI.

### **Policy Legislation:**

#### **Local Government Act**

Part 10.8 Audit

Division 1 Auditor

#### *133 Auditor*

- (1) A council must have an auditor.
- (2) The auditor must be:
  - (a) the Auditor-General; or
  - (b) a registered company auditor or an authorised audit company; or
  - (c) a firm whose members include a registered company auditor.
- (3) A person is not eligible to be the auditor if:
  - (a) the person is a member or a candidate for election as a member of the council; or
  - (b) holds any other office or position with the council.
- (4) The council must, in the instrument of the auditor's appointment:
  - (a) fix the term of appointment (which must not be less than 2 nor more than 5 years); and
  - (b) fix the basis of the auditor's remuneration.
- (5) The office of auditor becomes vacant if:
  - (a) the auditor dies; or
  - (b) the auditor resigns by written notice to the CEO; or
  - (c) the auditor becomes a candidate for election as a member of the council or accepts some other remunerated office or position with the council; or
  - (d) the auditor's term of office comes to an end and the auditor is not re-appointed; or
  - (e) the auditor is removed from office by the council with the Minister's consent.

#### *134 Appointment by the Minister*

- (1) If a council fails to appoint an auditor, the Minister may make an appointment on behalf of the council.
- (2) An auditor appointed under subsection (1) is to be paid fees fixed by the Minister.

**RECOMMENDATION**

1. THAT the Committee receives Report Number GOC/0041.
2. THAT Council appoint UHY Haines Norton as external auditor for the four years ending 30 June 2017.

**Recommending Officer:** Ben Dornier, Director of Corporate and Community Services

Any queries on this report may be directed to Ben Dornier, Director of Corporate and Community Services on telephone (08) 8935 9976 or email [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au).

**Schedule of Attachments:**

Nil

**CITY OF PALMERSTON**

**Confidential Minutes of Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 1 April 2014 at 7:36pm**

**RELEASED TO THE PUBLIC RECORD**

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*Alderman Malone left the Chambers at 7:36pm*

**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Andrew Byrne  
Alderman Paul Bunker  
Alderman Geoff Carter  
Alderman Heather Malone  
Alderman Seranna Shutt

**Staff:** Ricki Bruhn, Chief Executive Officer  
Ben Dornier, Director of Corporate and Community Services  
Jeetendra Dahal, Acting Director of Technical Services  
Caroline Hocking, Minute Secretary

**2. APOLOGIES**

Nil

**3. DEPUTATIONS / PRESENTATIONS**

Nil

**4. OFFICER REPORTS**

**4.1 Application – Remission of Interest for Lot 584**

**8/0461**

Moved: Deputy Mayor Byrne  
Seconded: Alderman Carter

1. THAT Council receives Report Number 8/0461.

**CARRIED 8/1018–01/04/2014**

*Alderman Malone entered the Chambers at 7:40pm*

Moved: Alderman Bunker  
Seconded: Alderman Carter

2. THAT Council approves the remission of interest for Lot 584 for the period to 31 July 2014.

**CARRIED 8/1019–01/04/2014**

**4.2 Power to sell land for non-payment for rates Lot 1027, Lot 4581,  
Lot 1811, Lot 2154, Lot 8361, Lot 9953 and Lot 9636 Unit  
54 8/0462**

Moved: Alderman Carter  
Seconded: Alderman Bunker

1. THAT Council receives Report Number 8/0462.

**CARRIED 8/1020–01/04/2014**

Moved: Alderman Carter  
Seconded: Alderman Bunker

2. THAT Council approves the recommended process of power of sale of land for no-payment of rates for Lot 1027, Lot 4581, Lot 1811, Lot 2154, Lot 8361, Lot 9953 and Lot 9636 Unit 54.
3. THAT the Mayor and Chief Executive Officer be authorised to sign and seal all required documentation to register statutory charges on above mentioned properties.

**CARRIED 8/1021–01/04/2014**

**4.3 Disposal of Aquatic Harvester 8/0463**

Moved: Alderman Malone  
Seconded: Alderman Shutt

1. THAT Council receives Report Number 8/0463.

**CARRIED 8/1022–01/04/2014**

Moved: Deputy Mayor Byrne  
Seconded: Alderman Bunker

2. THAT Council advertise the weed harvester with a national online auctioneer, setting a reserve price and allowing the company to sell the machinery taking a 6% commission of sale. If the weed harvester fails to sell at auction, Council may advertise the weed harvester with a national magazine.

**CARRIED 8/1023–01/04/2014**



**5. MOVE TO OPEN**

Moved: Alderman Malone  
Seconded: Deputy Mayor Byrne

THAT the Council move into the open session.

**CARRIED 8/1024–01/04/2014**

The meeting moved to the Open session at 7:51pm.

**CONFIRMED AT MEETING TO BE HELD 15 APRIL 2014**

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(Chair)

**ITEM NO.**        17.1        **Application – Remission of Interest for Lot 584**

**FROM:**                    **Acting Chief Executive Officer**

**REPORT NUMBER:**        **8/0461**

**MEETING DATE:**        **1 April 2014**

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**Municipal Plan:**

**4. Governance & Organization**

**4.1 Responsibility**

We are committed to corporate and social responsibility, the sustainability of Council assets and services, and the effective planning and reporting of Council performance to the community.

**Summary:**

An application for remission of interest has been received for the remainder of the 2013/2014 financial year in regards to Lot 584.

In line with policy FIN17 an application for remission of interest has to be presented to council for consideration.

**General**

**Lot 584**

The Ratepayer has owned the property since 2009. Rates had been up to date until 2012 when the Ratepayer became ill and with only one income, rate payments started to fall behind. The current outstanding amount including rates of the 2013/2014 financial year is \$2,699.48.

The Ratepayer has requested a remission of interest for the maximum period, in this case being 31 July 2014. A payment agreement of \$100 a fortnight will commence from 27 March 2014. If the Ratepayer does not maintain the payment plan a written warning will be sent and if the Ratepayer fails a second time to maintain the payment agreement interest will immediately be reinstated and the assessment will go back to Debt Collection.

**Financial Liability:**

Lot 584 - Interest remission equates to \$168.18

**Policy / Legislation:**

Pursuant to Part 11.7 Section 163 of the Local Government Act.

**Part 11.7 Interest on unpaid rates**

**163 Remission of interest**

A council may remit interest wholly or in part.

**RECOMMENDATION**

1. THAT Council receives Report Number 8/0461.
2. THAT Council approves the remission of interest for Lot 584 for the period to 31 July 2014.

**Recommending Officer:** Ben Dornier, Acting Chief Executive Officer

Any queries on this report may be directed to Ben Dornier, Acting Chief Executive Officer on telephone (08) 8935 9976 or email [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au).

**Schedule of Attachments:**

**ITEM NO. 17.2**                      **Power to sell land for non-payment for rates Lot 1027, Lot 4581, Lot 1811, Lot 2154, Lot 8361, Lot 9953 and Lot 9636 Unit 54**

**FROM:**                              **Acting Chief Executive Officer**

**REPORT NUMBER:**              **8/0462**

**MEETING DATE:**                **1 April 2014**

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**Municipal Plan:**

**4. Governance & Organisation**

**4.1 Responsibility**

We are committed to corporate and social responsibility, the sustainability of Council assets and services, and the effective planning and reporting of Council performance to the community

**Summary:**

Division 4 of the Local Government Act, gives Council the right to execute the Power to sell land for non-payment of rates. Senior Management has identified seven properties with outstanding rates that qualify for the sale of land. Property owners have been given warnings and debt recovery steps have been taken to try to recover the debt.

Senior Management believe that the following properties, mentioned in this report, should be handed over to our lawyers to recover debt through sale of land.

**Background:**

Division 3 Overriding statutory charge

*170      Overdue rates to be a charge on land*

If rates are not paid by the due date, the rates become a charge on the land to which they relate.

Exceptions:

1. Rates do not become a charge on land unless the owner of the land is a ratepayer who is liable for the rates that are in arrears.
2. Rates cannot become a charge on land within an Aboriginal community living area.

*171      Registration of charge*

(1) After rates have been in arrears for at least 6 months, the council may apply to the appropriate registration authority for registration of the charge over the land to which the charge relates.

(2) The registration authority must, on payment of the appropriate fee by the council:

- (a) register the charge as an overriding statutory charge; and
- (b) notify all persons with a registered interest in or over the land of the registration of the charge.

(3) Failure to give notice of the registration of the charge under subsection (2)(b) does not invalidate the registration of the charge.

(4) A registration authority must cancel registration of a charge if the council applies for the cancellation.

(5) The council must apply for cancellation if the liability to which the charge relates is fully satisfied, and may apply for cancellation for any other reason.

172 *Effect of registered charge*

While a charge is registered as an overriding statutory charge under this Division, it has priority over all other registered and unregistered mortgages, charges and encumbrances except a previously registered overriding statutory charge.

Division 4 Sale of land

173 *Power to sell land for non-payment of rates*

If rates have been in arrears for at least 3 years, and an overriding statutory charge securing liability for the rates has been registered for at least the last 6 months, the council may sell the land.

174 *Pre-conditions of sale*

(1) Before the council sells land for non-payment of rates, it must give a notice to the principal ratepayer for the land at the address appearing in the assessment record:

- (a) stating the period for which rates have been in arrears; and
- (b) stating the total amount currently outstanding on the land; and
- (c) warning that if that amount is not paid in full within a stated period (at least 1 month) after the date of the notice, the council will sell the land for non-payment of rates.

(2) A copy of the notice must be given to:

- (a) any other person with a registered interest in the land; and
- (b) if the land is a pastoral or other lease granted by the Territory, or a mining tenement – the Minister administering the legislation under which the lease or mining tenement was granted.

(3) If the whereabouts of a person to whom a notice (or copy) is, after reasonable inquiries, not ascertained by the council, the notice may be given by:

- (a) publishing it in a newspaper circulating generally throughout the Territory; and
- (b) leaving a copy of the notice in a conspicuous place on the land.

175 *Sale of land*

(1) If the full amount of the outstanding rates is not paid within the time allowed in the warning notice, the council may sell the land.

(2) The sale must be by public auction.

*Exceptions*

1 If the land is a pastoral or other lease granted by the Territory, or a mining tenement, the sale must be made as approved by the Minister administering the legislation under which the lease or mining tenement was granted.

2 If the land is a leasehold estate granted by a Land Trust, the sale must be made as approved by the relevant Land Council.

(3) A public auction must be advertised:

- (a) on the council's website; and
- (b) on at least 2 separate occasions in a newspaper circulating generally throughout the Territory.

(4) If before the date of the sale, the outstanding rates (including costs incurred by the council with a view to sale of the land) are paid, the council must call off the sale.

(5) If an auction fails, the council may sell the land by private contract for the best price that it can reasonably obtain.

(6) If a council sells land under this section, the council may execute a conveyance of the land under its common seal.

(7) On registration of the conveyance, title to the land vests in the purchaser freed and discharged from all mortgages, charges and encumbrances securing the payment of money.

176 *Proceeds of sale*

- (1) The council must apply the proceeds of the sale of the land as follows:
  - (a) first in the payment of the costs incurred in selling the land under this Division;
  - (b) secondly, in the payment of all liabilities secured on the land (including the liability to the council) in the order of their priority;
  - (c) thirdly, in payment to the owner of the land.
- (2) If the council fails, after reasonable inquiry, to discover the identity or whereabouts of a person entitled to payment under this section, the council may make the payment to the Public Trustee as unclaimed property.
- (3) A payment made to the Public Trustee under subsection (2) vests in the Public Trustee under, and for the purposes of, section 59A of the Public Trustee Act.

**General:**

The rate debts on the following seven properties are not recoverable over the debt recovery process and therefore qualify for the sale of land by Local Government Act. All property owners have received a letter of warning in February 2014 (Attachment A).

**LOT 1027**

Residential property with arrears since 2010 has been registered in the name of the current owner since 2010. Bailiffs attended property several times since 2010 to serve Field Calls and Statements of Claims, property owner was not contactable. Property owner received numerous Letter of Demands and Notices to registered address with no mail returned. Registered Mail Warning Letter was signed for on 13<sup>th</sup> March 2014 with a one off payment of \$2,671.76 received 14<sup>th</sup> March 2014. Owner has made no contact with Council. Total currently outstanding \$6,076.76. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**LOT 4581**

Residential property with arrears since 2006 has been registered in the name of the current owner since 2004. Property is vacant land. Bailiffs attended registered address several times since 2006 to serve Field Calls and Statements of Claims. Property owner has previously been served with Statement of claim at registered address in Wagaman. Sporadic payments have been made throughout the duration of ownership which has been quite minimal amounts. Last payment received on 3<sup>rd</sup> January 2012 of \$272.77. Total currently outstanding \$3,853.02. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**LOT 1811**

Residential property with arrears since 2010 has been registered in the name of the current owner since 2009. Property owner received numerous Letter of Demands and Notices to registered address with no mail returned. Several Field Calls carried out since 2012. Owner was successfully served with a Statement of claim in 2013. Only one payment has been made since ownership of the property in June of 2011. Total currently outstanding \$6,016.96. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**LOT 2154**

Residential property with arrears since 2008 has been registered in the name of the current owner since 2006. Letter of demands and notices have been posted to residential address of owners no mail returned. Both Field Calls and attempted services of Statement of Claim have been unsuccessful. Was posted a Warning letter in 2009, payment in full was received a month later. Early 2012 occupant confirmed owner did not reside in property. Mid 2012 neighbour advised Bailiff that house had been vacant for quite a few months. Contact was made with owner throughout 2013. Sporadic payments have been made throughout the duration of ownership. Total currently outstanding \$5,132.59. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**LOT 8361**

Residential property with arrears since 2008 has been registered in the name of the current owner since 2005. Last Statement of claim was served in 2012 which then followed to Judgement end of 2012. Owner has made several Rate Agreements however has defaulted each time. Attempts to contact owner have failed as will not respond to messages left at contact number. Registered Warning letter was signed for on 25<sup>th</sup> February 2014. Total currently outstanding \$9,118.98. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**LOT 9953**

Residential property with arrears since 2011 has been registered in the name of the current owner since 2010. No payments received nor contact made since ownership of the property. Field Calls and Letter of demands have all been unsuccessful. Statement of Claim was served upon Kim Biron at Fraser and Fraser Accounting in 2012. Number provided by conveyance for a Jared Storvik rings out and there has been no response to messages left. Total currently outstanding \$4,555.27. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**LOT 9636 UNIT 54**

Residential property with arrears since 2012 has been registered in the name of the current owner since 2009. Multiple Letter of Demands have been mailed to registered address. Field Call carried out in 2012 unsuccessfully. One phone contact by Council in 2013 acknowledged he was aware of the Debt Recovery status and stated he would come in to enter into an arrangement. Did not follow through with this and further attempts of contact were also unsuccessful. Total currently outstanding \$3,924.84. Senior Management recommends registering statutory charge on land (under division 3) in preparation of sale of land (under division 4).

**Financial Implications:**

The overall accrued debt of \$38,678.42 (as per 21/03/2014 accruing penalty interest daily) is the shortage in operational funds. These funds tied up are inadequate for City of Palmerston. Furthermore the legal charges occurred in the debt recovery process had to be financed through other cash flows as long as the rates debts are not recovered.

The charges of our lawyers mentioned above are fully recoverable over the sale of land and will not be at any cost to Council.

**RECOMMENDATION**

1. THAT Council receives Report Number 8/0462.
2. THAT Council approves the recommended process of power of sale of land for no-payment of rates for Lot 1027, Lot 4581, Lot 1811, Lot 2154, Lot 8361, Lot 9953 and Lot 9636 Unit 54.
3. THAT the Mayor and Chief Executive Officer be authorised to sign and seal all required documentation to register statutory charges on above mentioned properties.

**Recommending Officer:** Ben Dornier, Acting Chief Executive Officer

Any queries on this report may be directed to Ben Dornier, Acting Chief Executive Officer on telephone (08) 8935 9976 or email [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au).

**Schedule of Attachments:**

Attachment – Example of letter of warning sent to all property owners in February 2014





## CITY OF PALMERSTON

COUNCIL OFFICES CIVIC PLAZA 2 CHUNG WAH TERRACE

PO BOX 1 PALMERSTON NT 0831

TEL: (08) 8935 9922 FAX: (08) 8935 9900

Email [rates@palmerston.nt.gov.au](mailto:rates@palmerston.nt.gov.au)

ABN: 420 601 76900

Ms XXX  
X XXXXXXXX  
XXXX NT 0830

Dear XX XXXXXX,

Re: ASSESSMENT NO: 10xxxx  
PROPERTY ADDRESS: X XXXXXX XXXXX XXXX

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I write in regards to your above property, which has accrued substantial arrears of municipal rates and charges.

Due to your continued failure to comply with repeated requests for payment, Council intends to commence further legal proceedings against you pursuant to Part 11.9 of the Northern Territory Local Government Act 2011.

These legal proceedings **will ultimately result in your property being seized and sold** to recover the outstanding rates, interest accruals and the costs incurred in pursuing this action.

In order to avoid the above action being commenced, Council requires payment of all arrears and penalty interest in full by the close of business 20th March 2014. Please note that due to previous conduct of your account, a negotiated payment arrangement over time will no longer be acceptable, a lump sum payment in full of **\$X,XXX.XX** is required.

Should the above amount not be received at Council's offices by the due date of **Thursday 20<sup>th</sup> March 2014**, sale proceedings will be initiated without further notice.

The decision as to whether this course of action is pursued now rests with you. I strongly urge you to not ignore this notification.

Should you require any clarification in regards to this matter, you should contact me via [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au) or on 08 8935 9976.

Yours faithfully

Ben Dornier  
**Director of Corporate & Community Services**

20 February 2014

**ITEM NO. 17.3**                      **Disposal of Aquatic Harvester**

**FROM:**                              **Acting Chief Executive Officer**  
**REPORT NUMBER:**              **8/0463**  
**MEETING DATE:**                **1 April 2014**

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**Municipal Plan:**

**3. Environment & Infrastructure**

**3.2 Assets and Infrastructure**

We are committed to maintaining and developing community assets and infrastructure which meet the needs of our community

**Summary:**

City of Palmerston owns an Aquatic Harvester which is no longer in use. Senior Management suggests action be taken to dispose of this item.

**Background:**

City of Palmerston owns an HV 2600 Aquatic Weed Harvester which was valued at \$100,000 in 2010, this items current book value is \$68,995.

**General:**

The following alternatives for disposal have been identified:

- a. Council has received an offer to purchase from a local business for \$6,000 (Exc GST). This sale will result in a loss on disposal of asset of \$62,995.
- b. Council has received a letter from Friends of Fogg Dam Inc. requesting that council donate the weed harvester to the organisation. This donation will result in a loss on disposal of asset of \$68,995.
- c. Council could list the sale of this machinery with a national online auctioneer like Graysonline. This company will advertise, assist with setting reserves and conduct the auction for a 6% commission. The full financial implication of this option is unclear at the present time.
- d. Council may advertise this machinery with a national magazine (including online) at a cost of \$85. This is the cost of an advert of 30 words and includes a photo. The full financial implication of this option is unclear at the present time.

**Financial Implications:**

The following alternative financial implications will result:

- a. This sale will result in a loss on disposal of asset of \$62,995.
- b. This donation will result in a loss on disposal of asset of \$68,995.
- c. The financial implication of this option is unclear at present.
- d. The price of advertising will be \$85. The full financial implication of this option is unclear at present.

**RECOMMENDATION**

- 1. THAT Council receives Report Number 8/0463.
- 2. THAT Council recommend one of the options identified in the report.

**Recommending Officer:** Ben Dornier, Acting Chief Executive Officer

Any queries on this report may be directed to Ben Dornier, Acting Chief Executive Officer on telephone (08) 8935 9976 or email [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au)

**Schedule of Attachments:**

Attachment A – Offer to purchase

Attachment B – Letter from Friends of Fogg Dam Inc.

Attachment C – Letter of support to relocate the weed harvester to Fogg Dam.

weed harvester

From : "Jared Norman" <maintainyaplumbing@bigpond.com>

To : City of Palmerston

Sent : 18 February 2014 11:12:54

18,2,2014

To whom it may concern

Maintain ya plumbing would like to put forward the offer of \$6600.00 including  
gst to purchase the city's HV 2600 aquatic weed harvester ( as is where is )

Regards

Jared norman ( company director )

Maintain ya plumbing



## Friends of Fogg Dam Inc.

[www.foggdamfriends.org](http://www.foggdamfriends.org)

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PO Box 1505 Humpty Doo NT 0836 Tel: 08 8988 5599 Fax: 08 8988 5582  
Email: [eden@foggdam.com.au](mailto:eden@foggdam.com.au)

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12 March 2014

Mr Ian Abbott  
Mayor  
Palmerston City Council  
PO Box 1  
PALMERSTON NT 0831

Dear Mayor Abbott

Some Friends of Fogg Dam had the opportunity of seeing the Truxor weed harvester, kindly loaned by Palmerston Council, on trial at Fogg Dam. It was impressive. In a matter of hours it cut 6 acres of Eleocharis and dislodged 1,500 square metres of vegetative material.

We understand the Truxor replaced a larger aquatic weed harvester which is no longer required by the Council. If this is so, we respectfully seek your consideration of relocating the aquatic weed harvester to Fogg Dam to allow Friends of Fogg Dam and Parks & Wildlife to remove vegetation that is threatening the dam.

Friends of Fogg Dam Inc. was established in 2006 with a purpose to promote, protect and enhance the ecological, cultural and aesthetic values of Fogg Dam Conservation Reserve and assist visitors to enjoy, understand and appreciate this unique place. We have regular working bees at the dam, have held three successful Field Days, and over the last three years have obtained grants from EnvironmeNT to work with Parks to control Olive hymenachne, a weed of national significance, in the dam.

The most common comment we receive about Fogg Dam is, 'wish the dam had open water like it used to.'

Modifications of the dam in 1992 removed a sluice gate under the causeway as well as an area on the east side which was used to annually flush water with accompanying debris. Since then the dam has become overgrown with floating sedges and Eleocharis.

In 2010 Charles Darwin University, with support from Parks & Wildlife, undertook a study of the aquatic vegetation in Fogg Dam. They concluded that, if the decline in the area of open water continues at the same average rate as from 1993 to 2005, there may be no open water remaining in the dam by 2021; complete closure may occur much sooner if more recent rates observed persist. A recommendation is that:

*"Conservation and restoration of open water areas at Fogg Dam will require active management in the form of an on-going disturbance regime that will reduce vegetation biomass and change its structure."*



## Friends of Fogg Dam Inc.

[www.foggdamfriends.org](http://www.foggdamfriends.org)

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PO Box 1505 Humpty Doo NT 0836 Tel: 08 8988 5599 Fax: 08 8988 5582  
Email: [eden@foggdam.com.au](mailto:eden@foggdam.com.au)

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The rangers at Fogg Dam work hard to maintain the dam but their efforts are restricted by the equipment available and tight government funding.

Fogg Dam is a Territory treasure. Just an hour from Darwin, 40 minutes from Palmerston, it's the only wetland accessible by road all year in the Top End. Before Kakadu, Fogg Dam was well known and a popular place for locals to experience an extraordinary sunrise accompanied by a dawn chorus of birds and spectacular sunsets with water reflections.

Fogg Dam is well worth saving. Additional qualities it has include the following.

- It has a colourful history as part of the Humpty Doo Rice Project which gained national and international interest. [www.ricetrail.com.au](http://www.ricetrail.com.au)
- It was made a Heritage Site in 2009 for its connection to the Humpty Doo Rice Project.
- It is known internationally amongst bird watchers – the Australian Bird Atlas lists 230 bird sightings in the Fogg Dam area.
- It's part of the Adelaide River floodplain, an Australian Important Bird Area (IBA).
- It has an international reputation amongst biologists – Professor Rick Shine of the University of Sydney has been involved in research at Fogg Dam since 1985 resulting in hundreds of articles published in peer reviewed journals.
- It is a research location for Charles Darwin University as well as other Australian universities.
- It's a popular location for schools for wetland education.
- The dam with three viewing platforms and two boardwalks is a beautiful and popular location for locals, including Palmerston residents, to easily visit any time of the year.
- 

Use of the aquatic weed harvester will help us to control Olive hymenachne and open water for the enjoyment of locals and visitors. It would be a significant asset to help save Fogg Dam from completely closing over and substantially increase its tourism value.

Again, thank you for making the Truxor trial possible. We hope our request to relocate the aquatic weed harvester to Fogg Dam will be considered favourably. A letter from NT Parks & Wildlife supporting our request is being sent separately.

Yours faithfully

Heather Boulden  
President



**PARKS AND WILDLIFE COMMISSION  
OF THE NORTHERN TERRITORY**



Parks and Wildlife Commission  
of the Northern Territory  
Postal address PO Box 45  
Batchelor NT 0845  
Tel 08 89760268  
Fax 08 89760292  
Email [lincoln.wilson@nt.gov.au](mailto:lincoln.wilson@nt.gov.au)

Heather Boulden  
President  
Friends of Fogg Dam Inc  
PO Box 1505  
HUMPTY DOO NT 0836

Dear Heather

The Parks and Wildlife Commission of the Northern Territory support the relocation of the Palmerston City Council weed harvester to Fogg Dam.

The weed harvester will be a significant asset in managing for open water at the Fogg Dam Conservation Reserve.

The possible use of the weed harvester was discussed with representatives from the Northern Land Council and Traditional Owners of the Fogg Dam area. All considered this to be a positive decision that supports the aspirations Traditional Owners have for the area.

We look forward to continuing to work in partnership with Friends of Fogg Dam to ensure that the Fogg Dam Conservation Reserve maintains its biological values and meet community needs.

Yours sincerely

A handwritten signature in black ink, appearing to read "Lincoln Wilson".

LINCOLN WILSON  
District Manager – Top End Region

26 March 2014

**CITY OF PALMERSTON**

**Minutes of a Special Confidential Meeting of Council  
held in Council Chambers, Civic Plaza, Palmerston  
on Wednesday, 30 April 2014 at 8:32am**

**RELEASED TO THE PUBLIC RECORD**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Heather Malone  
Alderman Paul Bunker  
Alderman Geoff Carter  
Alderman Andrew Byrne  
Alderman Sue McKinnon

**Staff:** Mark Spangler, Acting Chief Executive Officer  
Gary Boyle, Major Projects Officer  
Caroline Hocking, Minute Secretary

**2. APOLOGIES**

Alderman Shutt - Apology

**3. DEPUTATIONS / PRESENTATIONS**

Nil

**4. OFFICER REPORTS**

**4.1 5 Birripa Court Unit Complex – Increase in Estimated Project Cost 8/0478**

Moved: Alderman Carter  
Seconded: Deputy Mayor Malone

1. THAT Council receives Report Number 8/0478.

**CARRIED 8/1048–30/04/2014**

**MEETING PROCEDURES**

**Suspension of Standing Orders**

Moved: Alderman Carter  
Seconded: Alderman Bunker

THAT Standing Orders be suspended to allow for open discussion on Report Number 8/0478 '5 Birripa Court Unit Complex – Increase in Estimated Project Cost'.

**CARRIED 8/1049–30/04/2014**

Standing Orders were suspended at 8:40am.



### **Reinstatement of Standing Orders**

Moved: Alderman McKinnon  
Seconded: Deputy Mayor Malone

THAT Standing Orders be reinstated.

**CARRIED 8/1050–30/04/2014**

Standing Orders were reinstated at 8:57am.

#### **4.1 5 Birripa Court Unit Complex – Increase in Estimated Project Cost** (continued)

**8/0478**

Moved: Alderman Byrne  
Seconded: Alderman Bunker

2. THAT Council endorse the revised design of the unit complex.
3. THAT Council note that the design drawings are required to be endorsed by CEO Housing and the Development Consent Authority.
4. THAT Council approve a total project budget of \$7,144,200 comprised of the land value of \$1,300,000 and cash component of \$5,844,200 (incl GST).

**CARRIED 8/1051–30/04/2014**

Moved: Alderman McKinnon  
Seconded: Deputy Mayor Malone

5. THAT the issue of funding be discussed at the next formal budget workshop.

**CARRIED 8/1052–30/04/2014**

Moved: Deputy Mayor Malone  
Seconded: Alderman Bunker

6. THAT the Resolutions only come back into the Open Session.

**CARRIED 8/1053–30/04/2014**

### **5. MOVE TO OPEN**

Moved: Alderman Carter  
Seconded: Alderman McKinnon

THAT the Council move into the open session.

**CARRIED 8/1054–30/04/2014**

The meeting moved to the Open session at 9:07am.

**CONFIRMED AT MEETING TO BE HELD 6 MAY 2014**

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(Chair)

**ITEM NO.**        5.1            **5 Birripa Court Unit Complex - Increase in Estimated Project Cost**

**FROM:**                      Director of Technical Services

**REPORT NUMBER:**        8/0478

**MEETING DATE:**         30 April 2014

**Municipal Plan:**

**3. Environment & Infrastructure**

**3.2 Assets and Infrastructure**

We are committed to maintaining and developing community assets and infrastructure which meet the needs of our community

**Summary:**

The City of Palmerston has entered into an Agreement to Lease with the Chief Executive Officer Housing for a complex of 15 units to be constructed at 5 Birripa Court Rosebery. The design architect has now detailed the design to the 60% stage. Due to site constraints, Development Consent Authority conditions precedent and consideration of constructability and cost management, the design includes a number of variations from the original concept. The current detailed cost estimate for the total project is \$7,144,200 (including land value of \$1.3M) which is \$925,344 over the preliminary cost estimate prepared in April 2013 based on the concept design. Council is asked to:

- Endorse the revised design
  - Note that CEO Housing and the Development Consent Authority are required to endorse the design drawings prior to calling construction tenders
- Approve a total project budget of \$7,144,200

**Background:**

Council Decision 8/0935 of 04<sup>th</sup> February 2014 approved the City of Palmerston (CoP) entering into an agreement with the Chief Executive Officer Housing (CEO Housing), to lease a complex of 15 units to be constructed at 5 Birripa Court Rosebery. The Agreement was subsequently executed by CoP on the 13<sup>th</sup> March 2014.

CoP submitted a development application to the Development Consent Authority (DCA) in October 2013 based on the original site layout (**Attachment A**) which was considered by the DCA on 20<sup>th</sup> November 2013 with a decision deferred. Following a number of design considerations requested by the DCA, the site layout was revised (**Attachment B**). The DCA reconsidered the development application on 22<sup>th</sup> January 2014 and issued a development permit with a number of conditions precedent (**Attachment C**).

On the 12<sup>th</sup> April 2013, Rider Levett Bucknall (RLB) prepared a preliminary cost estimate of \$6,218,856 (including the land value of \$1,300,000) based on the preliminary design documentation and square metre rates for building construction. This preliminary cost estimate did not include detailed costs associated with the required site engineering, changes to the design concept submitted to the DCA or the impact of DCA conditions precedent.

CoP awarded the project management contract to Thinc Projects on 28<sup>th</sup> February 2014. Thinc and the architect and engineering sub-consultants have undertaken detailed architectural and engineering design over March – April 2014. The sub-consultant quantity surveyor has also reviewed the RLB preliminary cost estimate and prepared a current detailed cost estimate..

### **General:**

The detailed design of the unit complex has now been completed to the 60% stage. Constraints associated with the site such as the shape and slope of the allotment, service easements along the northern and southern boundary and DCA conditions precedent have been incorporated into the detailed design. The detailed design has required that units 1 – 5 be repositioned across the site due to cost, service easements and engineering constraints. The detailed 60% drawings, including the revised site layout and floor plans are shown in **Attachment D**.

QS Services (QSS) reviewed the RLB estimate and advised that the RLB preliminary cost estimate included an error of \$100,000, a construction contingency of only 5% and that the preliminary cost estimate was more likely to be around \$6,926,147 or an increase of \$707,291 over the original cost estimate submitted to Council (**Attachment E**).

In order to reduce construction costs a number of cost reduction design changes have been made during the detailed design stages as outlined in the Thinc Cost Report (**Attachment F**). These changes include:

- Standardising the design of the Villas and Townhouses - one Villa design and one Townhouse design compared to the original concept design which contained two designs for each dwelling type
- Deletion of splayed walls to units which would have contributed to non-standard room sizes and higher costs
- Adjacent units have been planned to utilise wet areas back to back where possible to reduce service costs and to minimise the need for extensive acoustic treatment between units
- Resited Villas 1 – 5 to align with the site contour to reduce cut and fill and the limit the need for retaining walls and drainage
- Standardised the design of ensuites, bathrooms
- Deleted all external glazed bi-fold doors and substituted standard commercial grade sliding doors

QSS has now prepared a design cost estimate based on the 30 % design drawings with revisions made for the 60% design stages (**Attachment G**). The current total project cost estimate including GST, the land value and a 10% construction contingency is \$7,144,200. The QSS estimate is \$925,344 over the original preliminary cost estimate prepared by RLB on 12<sup>th</sup> April 2013 and submitted to Council as part of the concept proposal. The QSS detailed estimate is considered to

be realistic and provides opportunities to identify a range of construction cost savings during construction tender negotiations.

Thinc propose to tender the 60% design drawings and novate the architect and engineering sub-consultants to the successful construction contractor. This will allow the construction contractor to work with the design team to develop the final design based on preferred construction methods and materials and to work through a value management / cost minimisation process. Opportunities for cost reduction are listed in **Attachment F** and include items such as:

- Substitute electric hot water systems in lieu of heat pumps
- Use lightweight steel framed walls for level two instead of block-work (similar to the original concept design)
- Suspended floors changed from reinforced concrete to lightweight steel framing with joists typically at 450 centres so that the ceiling could be direct fixed to the underside of joists
- Potential reduction of construction contingency

Following Council endorsement of the revised design and budget, the revised drawings will need to be submitted to CEO Housing for endorsement before then submitting the drawings to the DCA for endorsement.

Time is of the essence with the project as construction must reach practical completion by the 24<sup>th</sup> December 2014. Thinc (in conjunction with CoP) intend to call tenders by mid May 2014.

### **Options:**

The options available to Council are:

- (a) Proceed with the project by endorsing the revised design and approving a total project budget of \$7,144,200 comprised of the land value of \$1,300,000 and cash component of \$5,844,200 (incl GST); or
- (b) Not proceed with the project.

Option (a) is the preferred option as it will allow the project to progress as fast as practicable and will deliver a unit complex that meets the specified requirements of the CEO Housing under the Agreement to Lease.

Option (b) would require CoP to rescind or terminate the Agreement to Lease with CEO Housing.

### **Financial Implications:**

CoP own the land which is valued at approximately \$1.3M. Council has currently allocated \$2.25M in FY 2013-14 to progress the project. Following advice on the treatment of GST for this project, Council is required to pay the GST component of the project, however these funds will not be required until FY 2014-15 and are included in the total project cost estimate.

Based on the QSS detailed cost estimates, Council will need to provide total project funding of \$7,144,200 comprised of the land value of \$1,300,000 and cash of \$5,844,200 (incl GST). A budget allocation of **\$3,594,200 (incl GST)** will be required in FY 2014-15 to fully fund construction. This represents a total budget increase of **\$925,344** over the preliminary cost estimate as shown in Table 1 below:

Description	Variance	RLB	QSS
End construction cost	-\$727,913	\$4,215,087	\$4,943,000
Consultant's fees	\$4,492	\$304,492	\$300,000
DSEP and WASSEP fees	-\$16,600	\$37,400	\$54,000
Sub-total	-\$740,021	\$4,556,979	\$5,297,000
GST	-\$82,531	\$447,169	\$529,700
NT Build Levy	-\$2,792	\$14,708	\$17,500
Land Cost	\$0	\$1,300,000	\$1,300,000
<b>Total Project Cost (incl GST)</b>	<b>-\$825,344</b>	<b>\$6,318,856</b>	<b>\$7,144,200</b>
RLB error	-\$100,000		
<b>Total variance</b>	<b>-\$925,344</b>		

Ultimately the market will determine the construction cost when the project is tendered. The detailed estimate is expected to represent the upper likely project cost. If tendered prices are below the detailed estimate, any excess funds will remain in the CoP budget.

The mid-range unit sale price proposed by Colliers in April 2013 has been increased to allow for an increase in capital gain of 6%. The indicative annualised return on investment based on a total project cost of \$7,144,200 over 10 years is 11.5% p.a including rental returns and capital growth as shown in **Attachment H**.

During FY2014-15 budget considerations, Council will need to determine if project funds are to be drawn from reserve or from borrowings. If funds are borrowed, the indicative return on investment will be reduced due to interest payments.

### **Policy / Legislation:**

The *Local Government (Accounting) Regulations* require a council to publically call tenders for all works over \$100,000.

## **RECOMMENDATION**

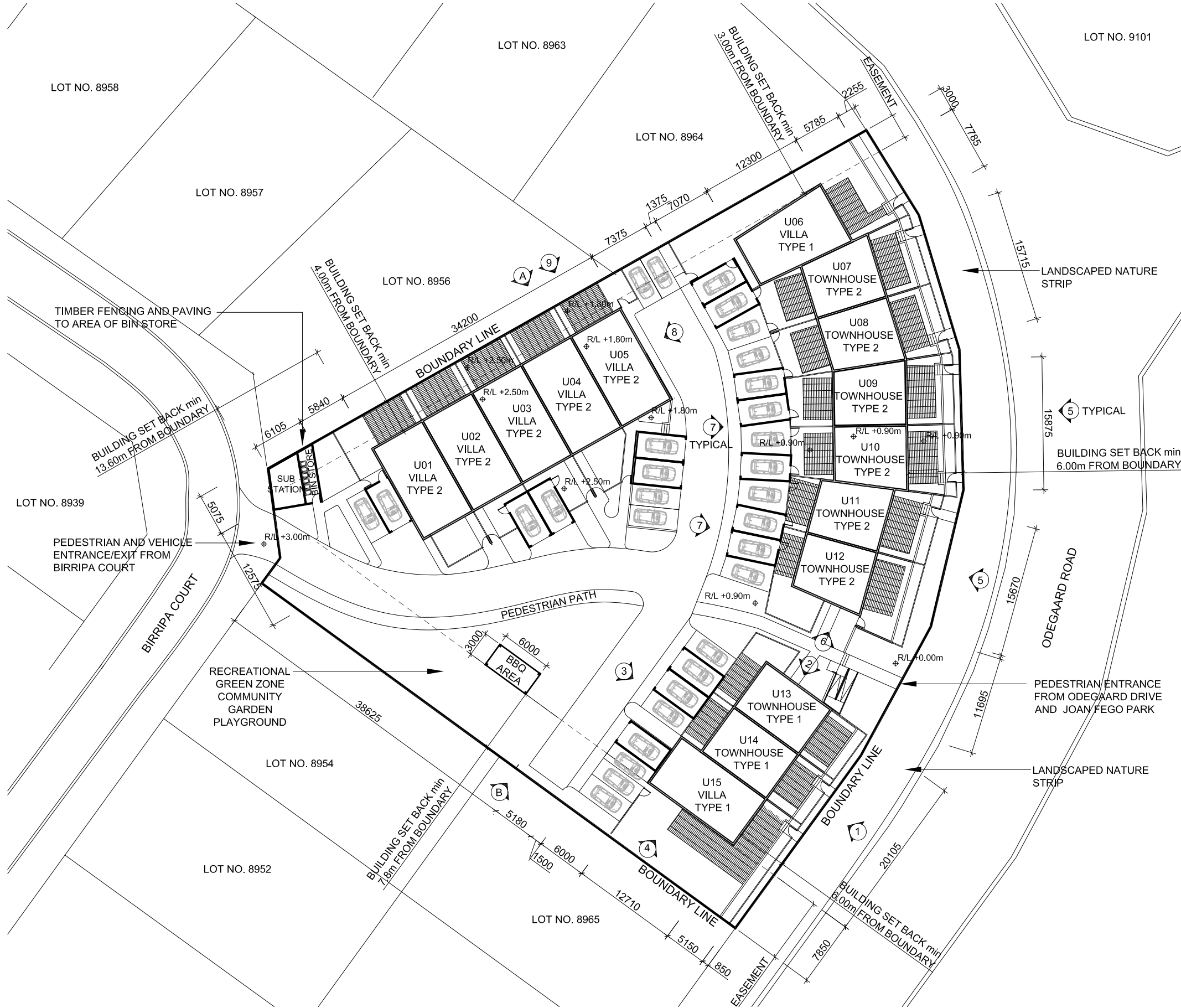
1. THAT Council receives Report Number 8/0478.
2. THAT Council endorse the revised design of the unit complex.
3. THAT Council note that the design drawings are required to be endorsed by CEO Housing and the Development Consent Authority.
4. THAT Council approve a total project budget of \$7,144,200 comprised of the land value of \$1,300,000 and cash component of \$5,844,200 (incl GST).

**Recommending Officer:** Mark Spangler, Director of Technical Services

Any queries on this report may be directed to Mark Spangler, Director of Technical Services on telephone (08) 8935 9958 or email [mark.spangler@palmerston.nt.gov.au](mailto:mark.spangler@palmerston.nt.gov.au).

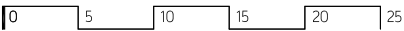
## **Schedule of Attachments:**

- Attachment A: Site layout submitted to DCA for 20 November 2013 meeting
- Attachment B: Site layout submitted to DCA for 22 January 2014 meeting
- Attachment C: DCA conditions precedent
- Attachment D: Detailed design drawings – 60%
- Attachment E: QSS review of RLB preliminary cost estimate
- Attachment F: Thinc Cost Report
- Attachment G: QSS detailed cost estimate
- Attachment H: Indicative return on investment



AREA SCHEDULE						
UNIT	TYPE	No. BEDRMS.	No. CARPARKS	CARPARK TYPE	AREA INTERNAL	PRIV. OPEN SPACE
U01	VILLA	2	2	GARAGE	80sqm	75sqm
U02	VILLA	2	2	GARAGE	80sqm	45sqm
U03	VILLA	2	2	GARAGE	80sqm	50sqm
U04	VILLA	2	2	GARAGE	80sqm	56sqm
U05	VILLA	2	2	GARAGE	80sqm	36sqm
U06	VILLA	2	2	GARAGE	80sqm	52sqm
U07	TOWNHOUSE	3	2	GARAGE	120sqm	160sqm
U08	TOWNHOUSE	3	2	GARAGE	120sqm	78sqm
U09	TOWNHOUSE	3	2	GARAGE	120sqm	77sqm
U10	TOWNHOUSE	3	2	GARAGE	120sqm	76sqm
U11	TOWNHOUSE	3	2	GARAGE	120sqm	77sqm
U12	TOWNHOUSE	3	2	GARAGE	120sqm	66sqm
U13	TOWNHOUSE	3	2	GARAGE	120sqm	97sqm
U14	TOWNHOUSE	3	2	GARAGE	120sqm	67sqm
U15	VILLA	2	2	GARAGE	80sqm	150sqm

**SITE PLAN**  
Proposed Residential Development  
Lot 8955 Birripa ct Rosebery NT

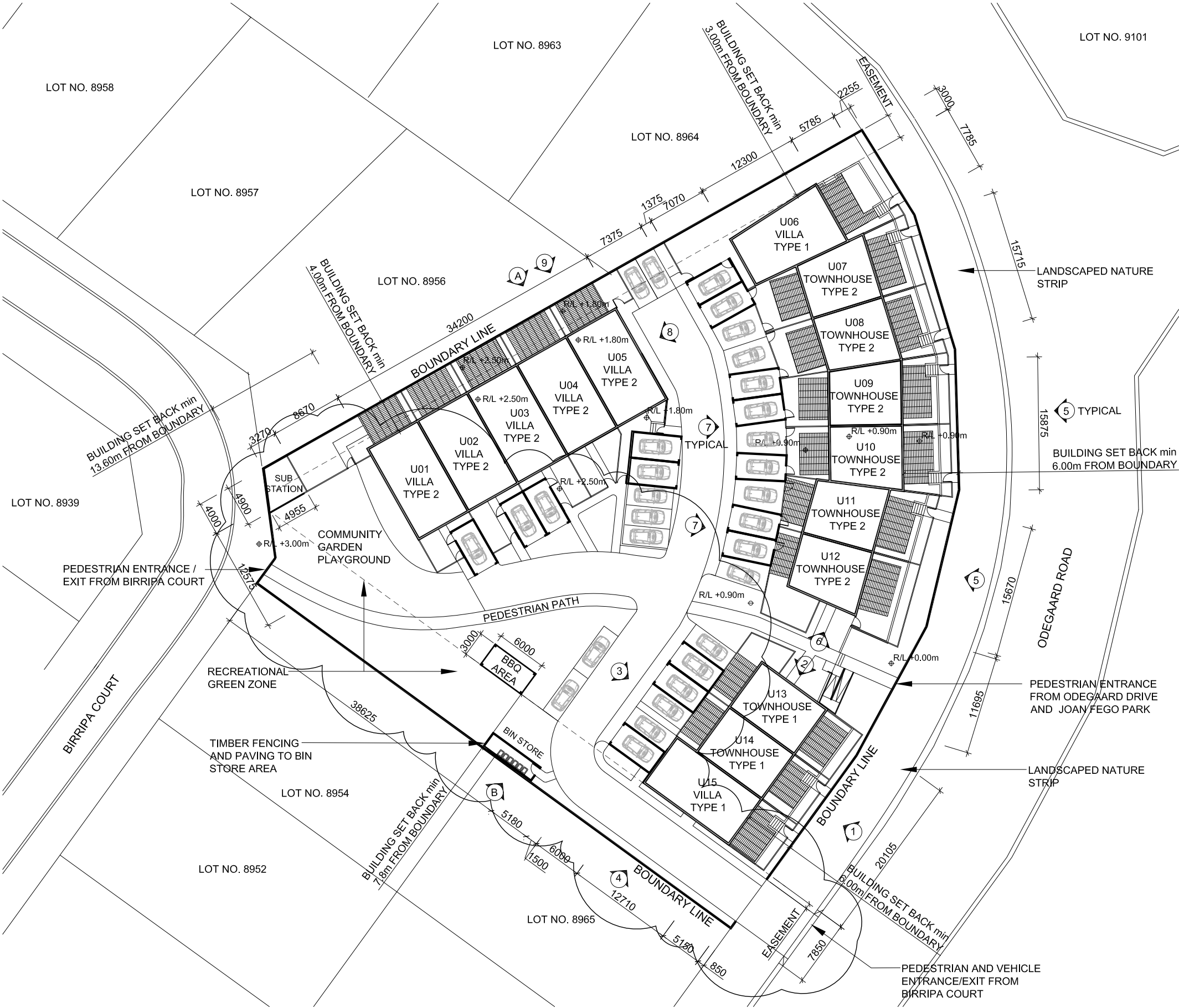


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Date : 1/10/2013

**70120** rev  
**SD100** **A**

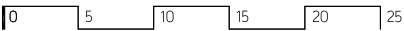
**Hames Sharley**  
www.hamesharley.com.au +61 8 8942 5800

PATH : "\\lancer\SynProj\70120 Residential Housing Development Birripa Court.  
Roseberry\03 Production\01 Design\DWG\dwg"



AREA SCHEDULE						
UNIT	TYPE	No. BEDRMS.	No. CARPARKS	CARPARK TYPE	AREA INTERNAL	PRIV. OPEN SPACE
U01	VILLA	2	2	GARAGE	80sqm	86sqm
U02	VILLA	2	2	GARAGE	80sqm	46sqm
U03	VILLA	2	2	GARAGE	80sqm	46sqm
U04	VILLA	2	2	GARAGE	80sqm	54sqm
U05	VILLA	2	2	GARAGE	80sqm	54sqm
U06	VILLA	2	2	GARAGE	80sqm	52sqm
U07	TOWNHOUSE	3	2	GARAGE	120sqm	160sqm
U08	TOWNHOUSE	3	2	GARAGE	120sqm	78sqm
U09	TOWNHOUSE	3	2	GARAGE	120sqm	77sqm
U10	TOWNHOUSE	3	2	GARAGE	120sqm	76sqm
U11	TOWNHOUSE	3	2	GARAGE	120sqm	77sqm
U12	TOWNHOUSE	3	2	GARAGE	120sqm	66sqm
U13	TOWNHOUSE	3	2	GARAGE	120sqm	97sqm
U14	TOWNHOUSE	3	2	GARAGE	120sqm	67sqm
U15	VILLA	2	2	GARAGE	80sqm	33sqm

**SITE PLAN**  
Proposed Residential Development  
Lot 8955 Birripa ct Rosebery NT



Scale : 1:500 @ A3  
Date : 12/12/2013

**70120**  
**SD100**  
rev  
**C**

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PATH : "\\lancer\\SynProj\\70120 Residential Housing Development Birripa Court.  
Roseberry\\03 Production\\01 Design\\DWG\\dwg"





# Development Consent Authority

Northern Territory

ATTACHMENT C

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6044  
Facsimile No: (08) 8999 6055

In reply please quote: PA2013/0761  
DCC:HS

Mr Gary Boyle  
gary.boyle@palmerston.nt.gov.au

Dear Mr Boyle

## NOTICE OF CONSENT (SECTION 53B OF THE *PLANNING ACT*) LOT 8955 (5) BIRRIPIA COURT, TOWN OF PALMERSTON

The Development Consent Authority has determined in accordance with section 53(b) of the Act to alter the proposed development and grant consent to the proposed development as altered to use and develop the abovementioned land for the purpose of 7 x 2 and 8 x 3 bedroom multiple dwellings in 1 x 1 storey building and 2 x 2 storey buildings, subject to the conditions specified on the attached Development Permit DP14/0053.

### Reasons for the Determination

1. Pursuant to Section 51(a) of the *Planning Act*, the consent authority must take into consideration the planning scheme that applies to the land to which the application relates.

The proposed development is consistent with the primary purpose of Zone MD (Multiple Dwelling Residential) of the Northern Territory Planning Scheme as it provides for a variety of housing options for potential residents of Rosebery.

2. As per the email from the Director of Technical Services, Palmerston City Council and the Traffic Study conducted by Tonkin Consulting, driveway access onto either Birriipa Court or Odegaard Drive is considered as being both safe and appropriate. The requirement for the location of the driveway on Odegaard Drive addresses the submitters concerns in relation to the increased flow of traffic and the potential impact that it will have on the amenity of Birriipa Court.
3. A variation to Clause 7.3 (Building Setbacks of Residential Buildings) of the Scheme to allow a reduced primary street setback of:
  - 6.6m where 10.5m is required for Units 6 – 12 due to addition length requirements of Clause 7.3.1 (Additional Setback Requirements for Residential Buildings Longer than 18m and for Residential Buildings over 4 Storeys in Height) of the Scheme; and
  - 6.0m where 6.5m is required for Units 13 – 15 due to addition length requirements of Clause 7.3.1 (Additional Setback Requirements for Residential Buildings Longer than 18m and for Residential Buildings over 4 Storeys in Height) of the Scheme

is granted as:

- the site is a non-uniform shape with 2 street frontages. The site is constrained by a 3m wide electricity easement located on the northern boundary and a 7.6m wide electricity supply, sewerage and water supply easement located on the southern boundary;

- no adverse effects of building massing are anticipated when viewed from the street due to its location on a corner;
- the building is well articulated;
- landscaping has been provided to soften the visual impact of the development on the streetscape;
- the location of balconies and private open space fronting Odegaard Road will provide for passive surveillance of the street and park which is located across the road; and
- landscaping has been provided to soften the impact of the development on the streetscape and to avoid undue overlooking.

4. The requirement for amended plans showing:
- the removal of the pedestrian path; and
  - details of the treatment of Birripa Court.

will ensure that the development is secure from a management perspective (as the land is private property) and that the development is sympathetic to the Birripa Court streetscape.

5. Amended plans demonstrating compliance with Clause 7.5 (Private Open Space) will ensure that the private open space of Unit 15 is of an adequate size to provide for domestic purposes.

#### Right of Appeal

Applicants are advised that a right of appeal to the Appeals Tribunal exists under Part 9 of the *Planning Act*. An appeal under section 114 against a determination of a development application must be made within 28 days of the service of this notice.

The Registrar of the Appeals Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: The Registrar, Appeals Tribunal, GPO Box 1281, DARWIN NT 0801 or Office of the Coroner, Level 3 Nichols Place, Cnr Bennett & Cavenagh Sts (Telephone: 08 8999 5001 or Facsimile 08 8999 5005).

There is no right of appeal by a third party under section 117 of the *Planning Act* in respect of this determination as section 117(4) of the Act and regulation 14 of the *Planning Regulations* apply to the application.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8999 6046.

Yours faithfully

  
**DEBORAH CURRY**  
 Delegate

30 / 1 / 2014

#### Attachment

Cc: Beverley Alcidi  
 Meredith Sullivan  
 Tomas Franklin

Nina Storer  
 Kevin Mulvahl

**NORTHERN TERRITORY OF AUSTRALIA**

*Planning Act - sections 54 and 55*

**DEVELOPMENT PERMIT**

DP14/0053

**DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT**

Lot 08955  
Town of Palmerston  
5 BIRRIPA CT, ROSEBERY

**APPROVED PURPOSE**

To use and develop the land for the purpose of 7 x 2 and 8 x 3 bedroom multiple dwellings in 1 x 1 storey building and 2 x 2 storey buildings, in accordance with the attached schedule of conditions and the endorsed plans.

**VARIATIONS GRANTED**

Clause 7.3 (Building Setbacks of Residential Buildings) of the NT Planning Scheme.

**BASE PERIOD OF THE PERMIT**

Subject to the provisions of sections 58, 59 and 59A of the Planning Act, this permit will lapse two years from the date of issue.



**DEBORAH CURRY**

Delegate  
Development Consent Authority

30/1/2014

**DEVELOPMENT PERMIT**

DP14/0053

**SCHEDULE OF CONDITIONS****CONDITIONS PRECEDENT**

1. Prior to the endorsement of plans and prior to the commencement of works, the applicant is to enter into an easement encroachment agreement with Power and Water Corporation regarding permitted activities within the easement.
2. Prior to the endorsement of plans and prior to commencement of works (including site preparation), amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and two copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show:
  - access from Odegaard Road;
  - compliance with the provisions of Clause 7.5 (Private Open Space) of the Scheme;
  - relocation of car parking spaces abutting the northern side boundary;
  - removal of the pedestrian pathway between Birripa Court and the driveway;
  - details of the treatment of Birripa Court including fencing; and
  - relocation of the bin store area or written confirmation of an encroachment agreement.

**GENERAL CONDITIONS**

3. Works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
4. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority and approval to carry out works shall be obtained prior to the commencement of construction, to the satisfaction of the consent authority.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage facilities and electricity services and telecommunication to the land shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
6. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston to the satisfaction of the consent authority.
7. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.
8. The owner shall:
  - (a) remove disused vehicle and/ or pedestrian crossovers;
  - (b) provide footpaths/ cycleways;

(c) undertake reinstatement works;

All to the technical requirements of and at no cost to the City of Palmerston, to the satisfaction of the consent authority.

9. Before the use or occupation of the development starts, the areas set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:

(a) constructed;

(b) properly formed to such levels that they can be used in accordance with the plans;

(c) surfaced with an all-weather-seal coat;

(d) drained;

(e) line marked to indicate each car space and all access lanes; and

(f) clearly marked to show the direction of traffic along access lanes and driveways;

Car spaces and driveways must be kept available for these purposes at all times.

10 Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.

11 The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

12 No fence, hedge, tree or other obstruction exceeding a height of 0.6 m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street.

13 All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.

14 All air conditioning condensers are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.

15 Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.

16 Prior to the commencement of works an Erosion and Sediment Control Plan (ESCP), including details and location of stormwater drains, is to be submitted to and approved by the consent authority on the advice of the Department of Land Resource Management, and an endorsed copy of the Plan will form part of this permit. All works relating to this permit are to be undertaken in accordance with the endorsed ESCP to the satisfaction of the consent authority.

The Department of Land Resource Management advises that the IECA Best Practice Erosion and Sediment Control Guidelines 2008 may be referenced as a guide to the type of information, detail and data that should be included in the ESCP.

## NOTES

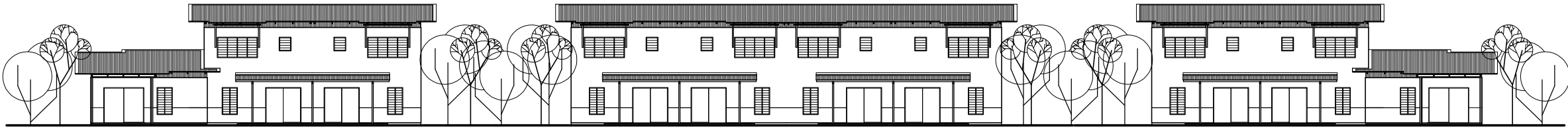
1. This permit will expire if one of the following circumstances applies:

(a) the use is not started within two years of the date of this permit; or

(b) the development is not completed within four years of the date of this permit.

The consent authority may extend the periods referred to if an application is lodged before the permit expires.

2. The Power and Water Corporation advises that the Water and Sewer Services Development Section ([landdevelopmentnorth@powerwater.com.au](mailto:landdevelopmentnorth@powerwater.com.au)) and Power Network Engineering Section ([powerconnections@powerwater.com.au](mailto:powerconnections@powerwater.com.au)) should be contacted via email a minimum of 1 month prior to construction works commencing to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. The Environment Protection Agency of the Department of Lands, Planning and the Environment advises that construction work should be conducted in accordance with the Agency's Noise Guidelines for Development Sites. The guidelines specify that on-site construction activities are restricted to between 7am and 7pm Monday to Saturday and 9am to 6pm Sunday and Public Holidays. For construction activities outside these hours refer to the guidelines for further information.
4. This development permit does not grant "building approval" for the proposed structure. The Building Code of Australia requires that certain structures within 900mm of a boundary meets minimum fire resistance level requirements and you are advised to contact a registered private Building Certifier to ensure that you have attained all necessary approvals before commencing demolition or construction works.



PROPOSED RESIDENTIAL DEVELOPMENT LOT 8955 PALMERSTON

ARCHITECTURAL DRAWINGS

- 14.05-A000 COVER SHEET
- 14.05-A001 SITE PLAN 1:500
- 14.05-A002 PART SITE PLAN 1 1:200
- 14.05-A003 PART SITE PLAN 2 1:200

- 5 VILLAS, U1, U2, U3, U4 AND U5
- 14.05-A004 FLOOR PLAN PART 1
  - 14.05-A005 FLOOR PLAN PART 2
  - 14.05-A006 REFLECTED CEILING PLAN
  - 14.05-A007 ROOF PLAN
  - 14.05-A008 ELEVATIONS 1, 2 AND 3
  - 14.05-A009 ELEVATION 4, SECTION A-A AND B-B

- 14.05-A010 SECTION C-C & D-D, WINDOW & DOOR SCHEDULE

- 4 TOWN HOUSES, U9, U10, U11 AND U12
- 14.05-A011 GROUND FLOOR PLAN
  - 14.05-A012 FIRST FLOOR PLAN
  - 14.05-A013 REFLECTED CEILING PLAN
  - 14.05-A014 ROOF PLAN
  - 14.05-A015 ELEVATIONS 1, 2 AND 4
  - 14.05-A016 ELEVATION 3, SECTION A-A
  - 14.05-A017 SECTION B-B AND C-C
  - 14.05-A018 STAIRS, WINDOW AND DOOR SCHEDULE

- 1 VILLA, 2 TOWN HOUSES U6, U7 AND U8  
(U13, U14 AND U15 MIRRORED)
- 14.05-A019 GROUND FLOOR PLAN
  - 14.05-A020 FIRST FLOOR PLAN
  - 14.05-A021 REFLECTED CEILING PLAN
  - 14.05-A022 ROOF PLAN
  - 14.05-A023 ELEVATIONS 1 AND 2
  - 14.05-A024 ELEVATION 3 AND 4
  - 14.05-A025 SECTION A-A AND B-B
  - 14.05-A026 SECTION C-C AND D-D
  - 14.05-A027 WINDOW AND DOOR SCHEDULE

irwinconsult

82 Smith Street Darwin 0800  
t +61 8 8980 5900 f +61 8 8981 4010  
dwn@irwinconsult.com.au ABN 89 050 214 894

QS SERVICES

QUALITY SERVICES  
100% SATISFACTION GUARANTEE  
100% ON TIME DELIVERY  
100% BUDGET COMPLIANCE

THE LANDSCAPE STUDIO  
KAREN JOHNSON@dado.com.au

ADG  
AUSTRALASIA / ASIA / EUROPE / MIDDLE EAST

LUCID  
CONSULTING AUSTRALIA

THINC

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

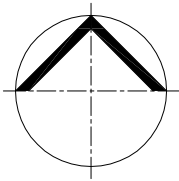
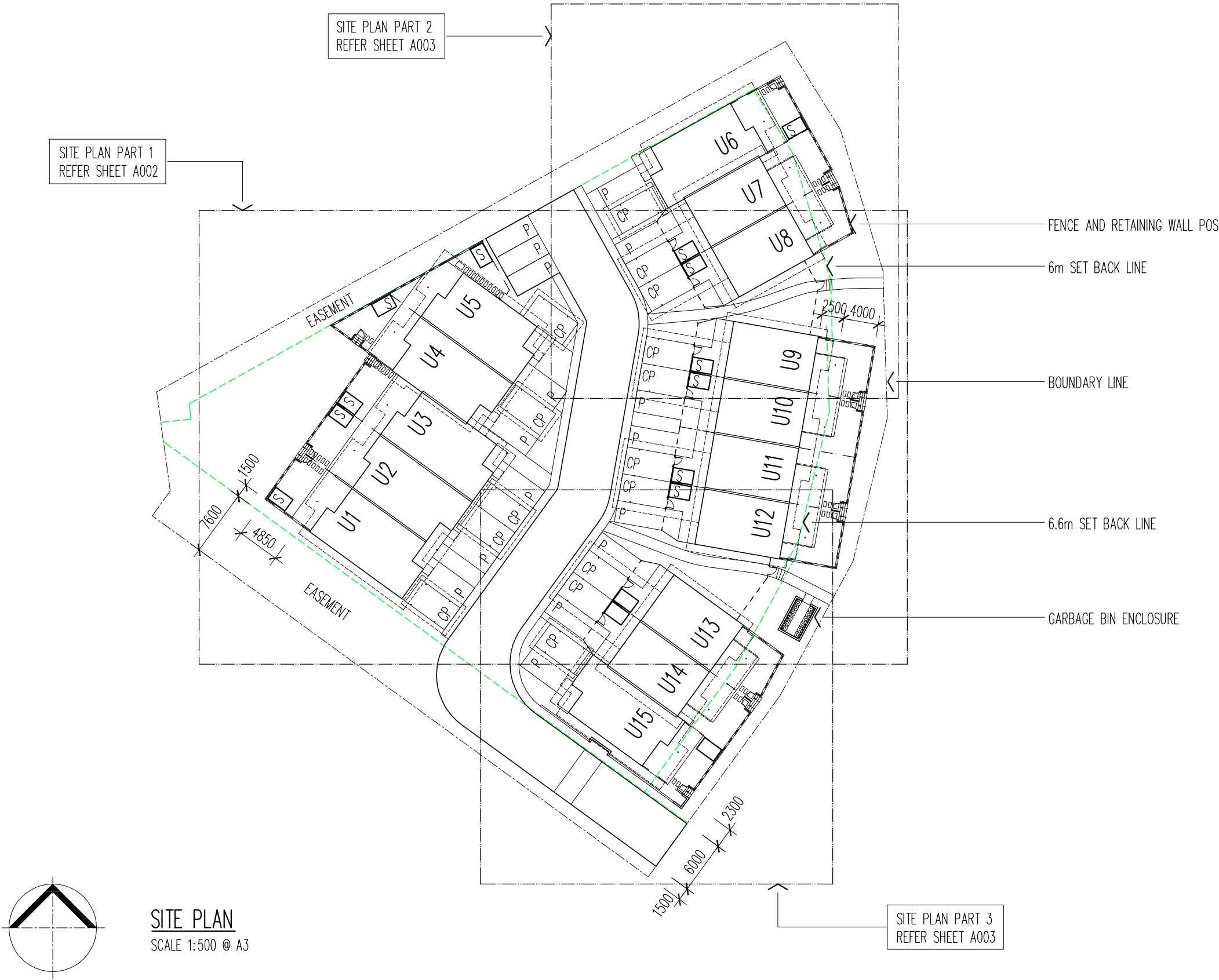
COVER SHEET

FOR TENDER

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Sheet No. A000 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

LEGEND

- CP COVERED CARPARK
- P CARPARK
- S PTY SHED



SITE PLAN  
SCALE 1:500 @ A3

24/04/2014 11:47:44 AM

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

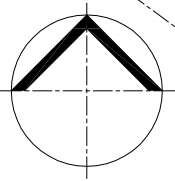
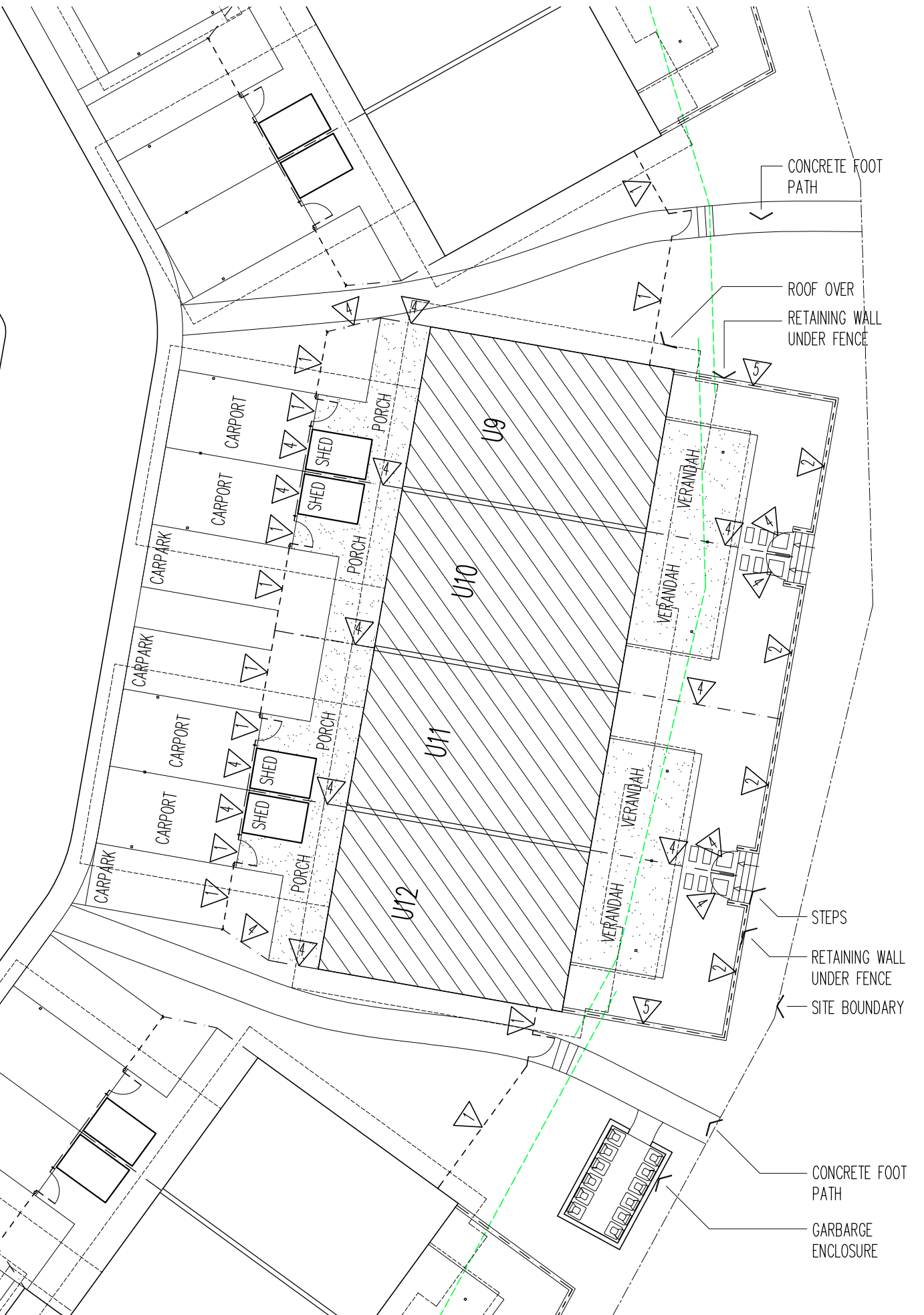
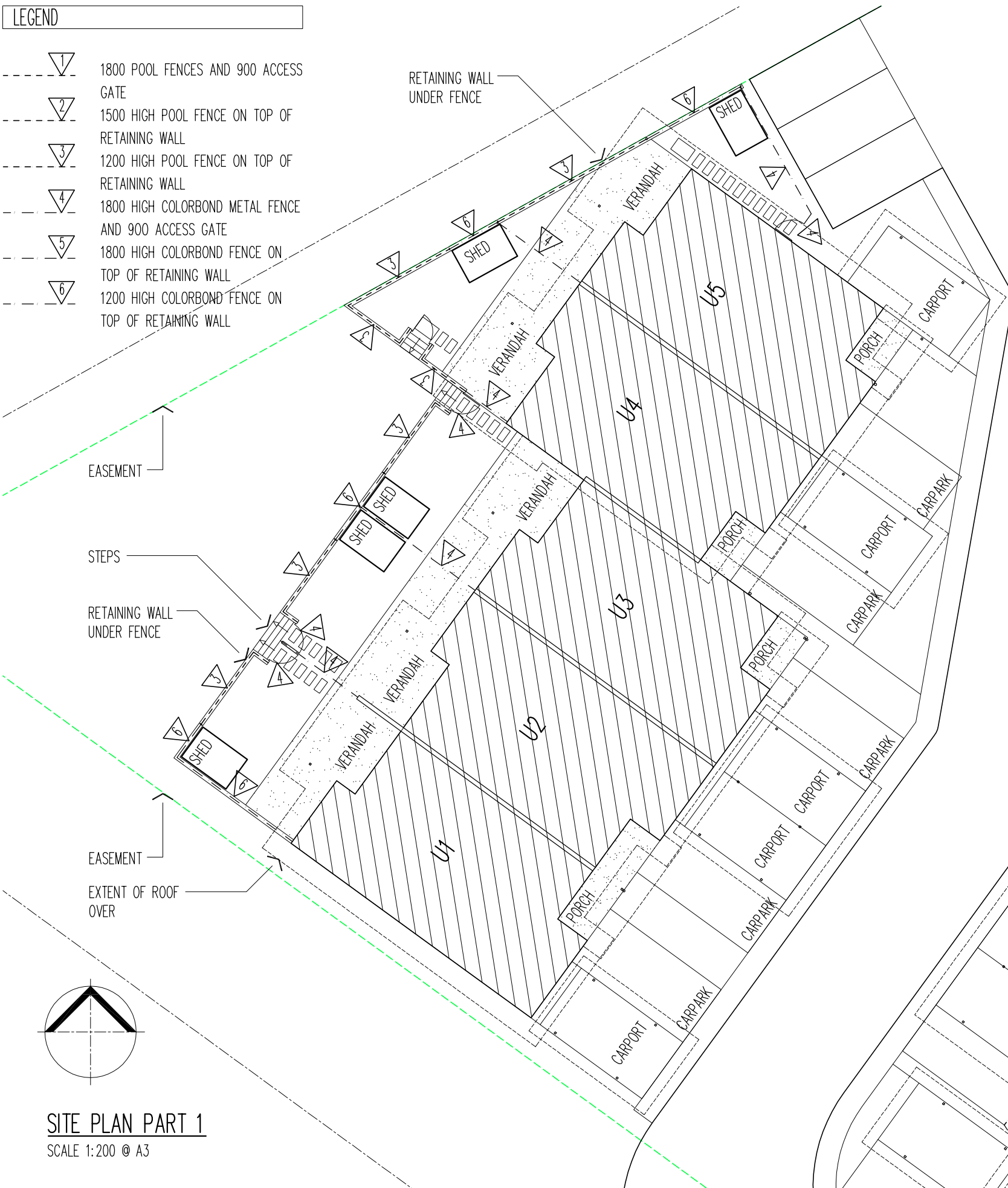
SITE PLAN 1:500

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Sheet No. A001 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



LEGEND

- 1 1800 POOL FENCES AND 900 ACCESS GATE
- 2 1500 HIGH POOL FENCE ON TOP OF RETAINING WALL
- 3 1200 HIGH POOL FENCE ON TOP OF RETAINING WALL
- 4 1800 HIGH COLORBOND METAL FENCE AND 900 ACCESS GATE
- 5 1800 HIGH COLORBOND FENCE ON TOP OF RETAINING WALL
- 6 1200 HIGH COLORBOND FENCE ON TOP OF RETAINING WALL



SITE PLAN PART 1  
SCALE 1:200 @ A3

No.	AMENDMENT DESCRIPTION	DATE
	ISSUE FOR TENDER	24.04.2014

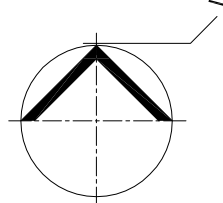
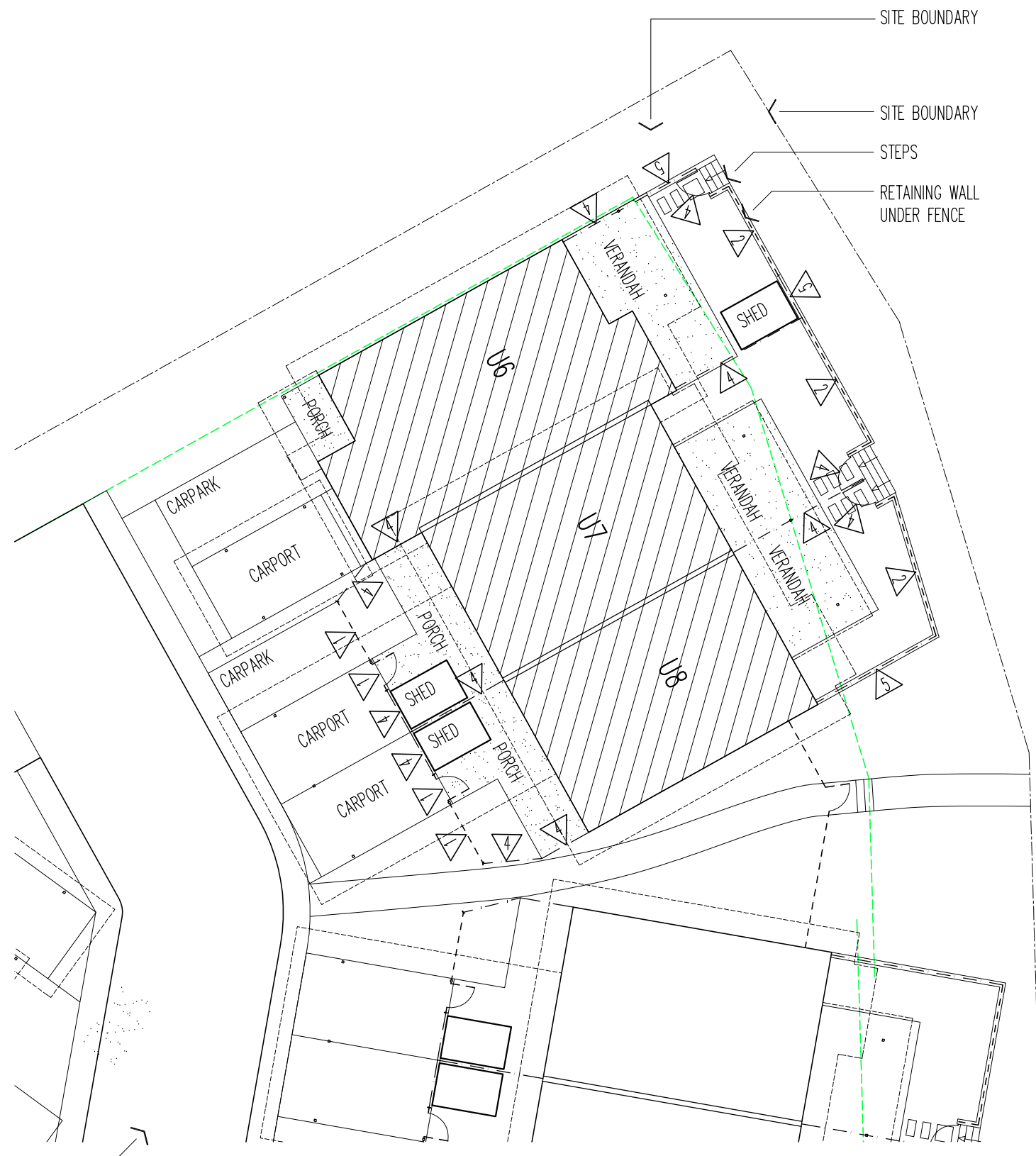
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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
  
PART SITE PLAN 1 1:200

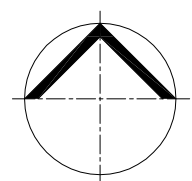
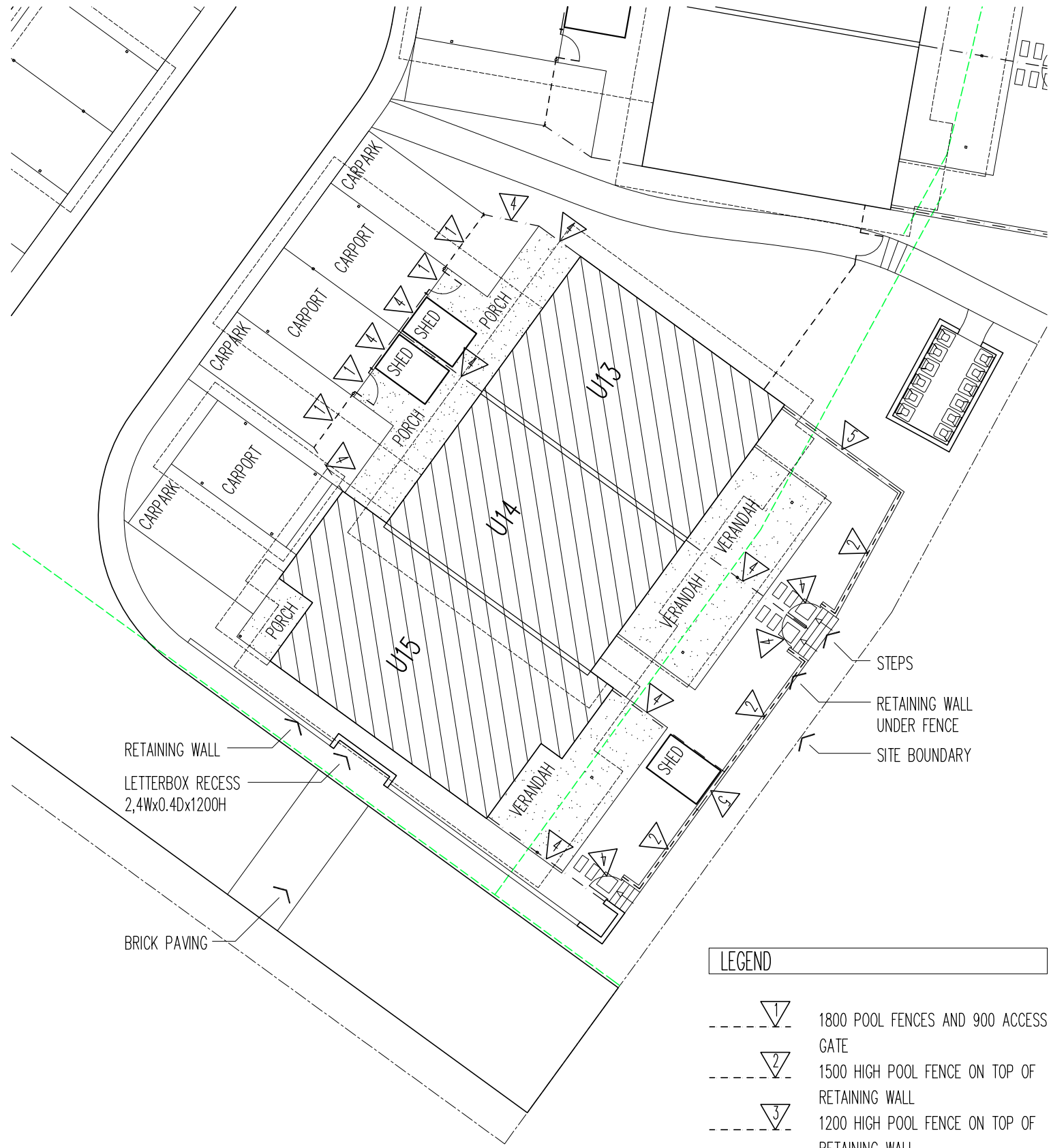
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Sheet No. A002 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

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**SITE PLAN PART 2**  
SCALE 1:200 @ A3



**SITE PLAN PART 3**  
SCALE 1:200 @ A3

LEGEND	
	1800 POOL FENCES AND 900 ACCESS GATE
	1500 HIGH POOL FENCE ON TOP OF RETAINING WALL
	1200 HIGH POOL FENCE ON TOP OF RETAINING WALL
	1800 HIGH COLORBOND METAL FENCE AND 900 ACCESS GATE
	1800 HIGH COLORBOND FENCE ON TOP OF RETAINING WALL
	1200 HIGH COLORBOND FENCE ON TOP OF RETAINING WALL

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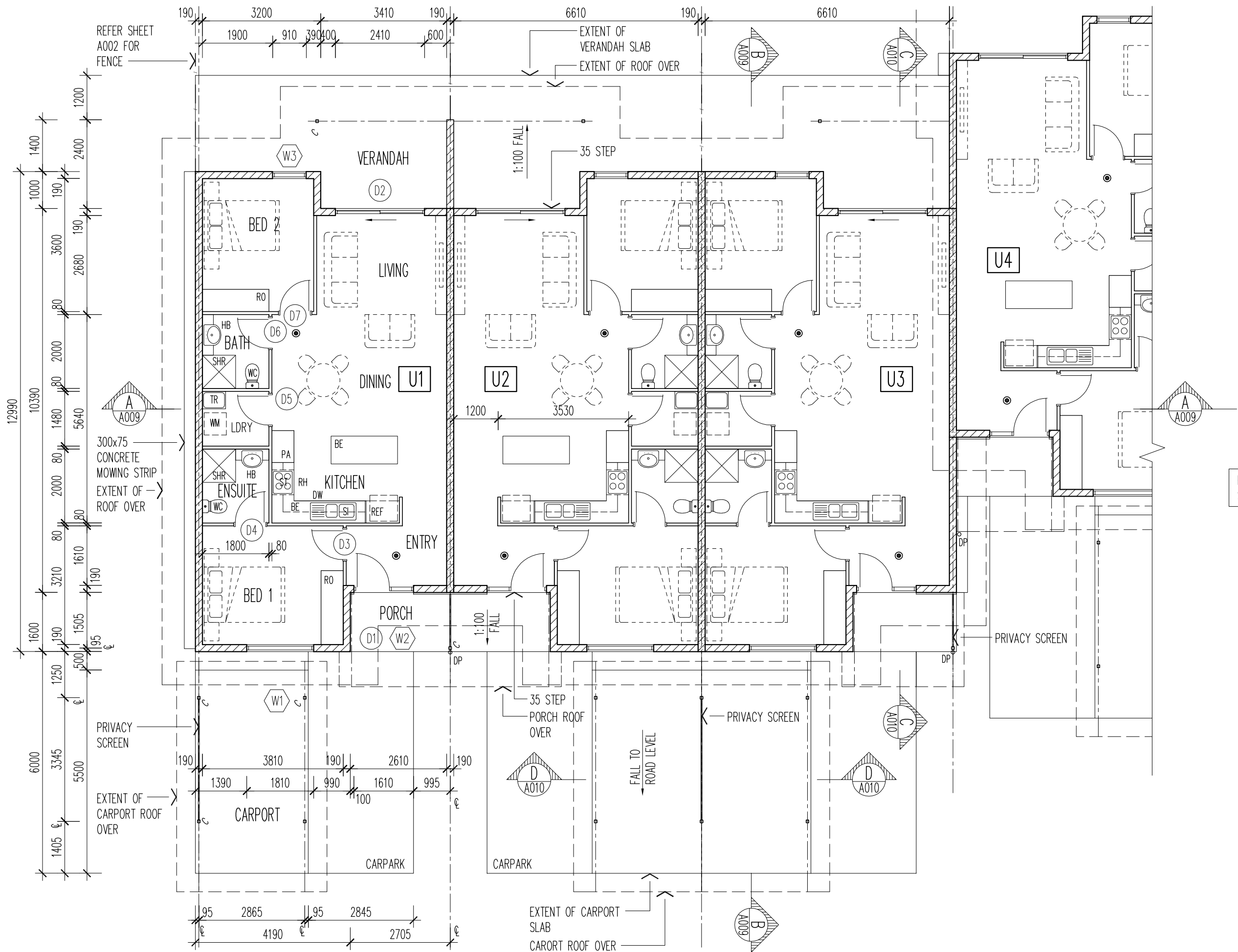
No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014



PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

PART SITE PLAN 2 AND 3 1:200

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	<b>A3</b>
Sheet No. A003 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



**LEGEND**

- 76 METAL STUD FRAMING
- 200 SERIES CONCRETE BLOCKWORK
- CONCRETE BLOCK FIRE WALL FRL 60/60/60 Rw45
- SHS COLUMN
- DOWN PIPE
- SMOKE ALARM TO COMPLY WITH BCA REQUIREMENT
- HB HAND BASIN
- WC WATER CLOSET
- SHR SHOWER RECESS
- TR TROUGH
- SI STAINLESS STEEL SINK
- BE BENCH
- PA PANTRY
- WM WASHING MACHINE (NOT IN CONTRACT)
- ST STOVE
- RH RANGEHOOD
- DW DISHWASHER RECESS
- REF REFRIGERATOR (NOT IN CONTRACT)

**PART PLAN 1 SHEET A004**

**KEY PLAN**

**ELEVATION KEY**

**FLOOR PLAN PART 1**

SCALE 1:100 @ A3

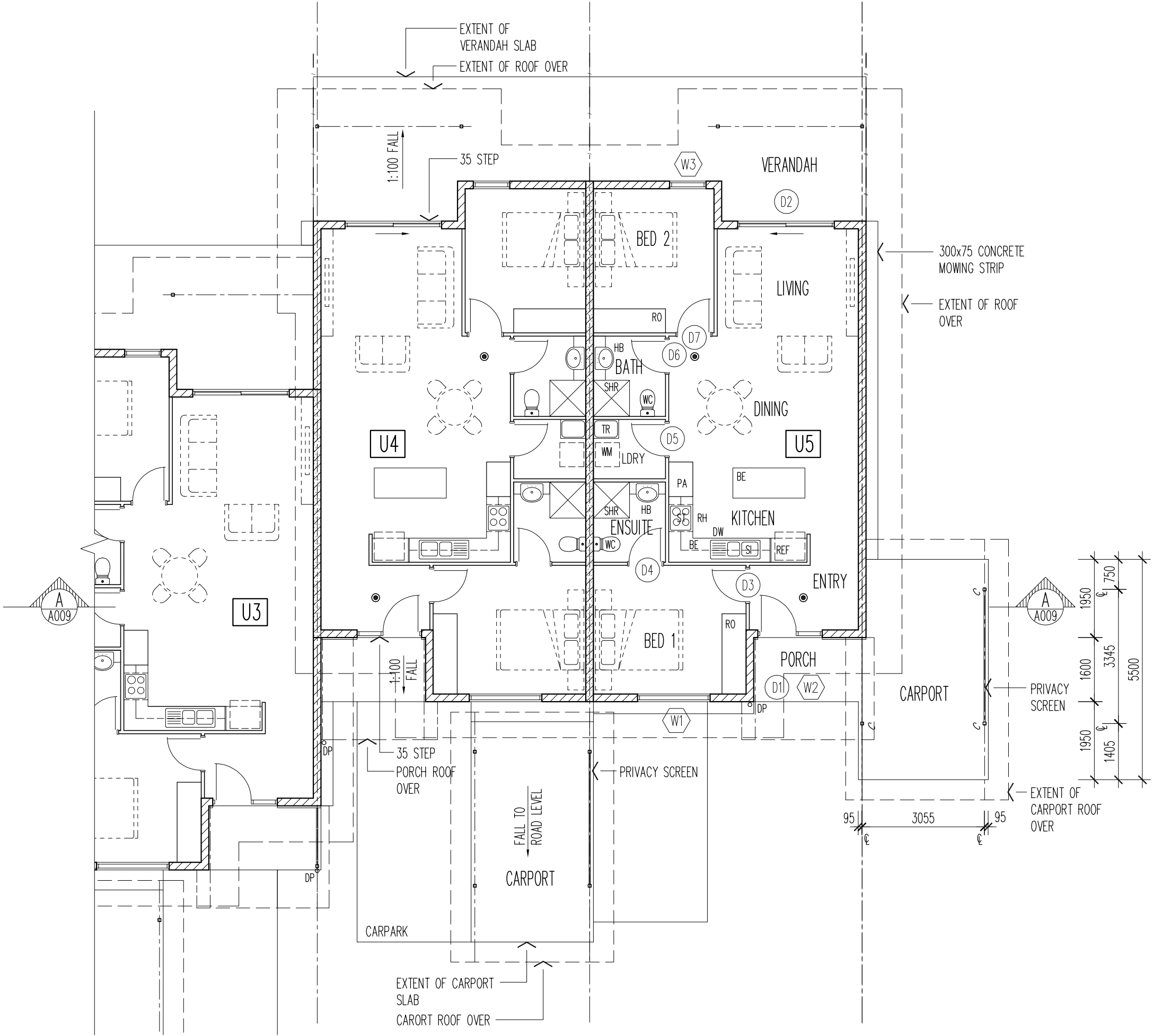
No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
5 VILLAS  
FLOOR PLAN PART 1

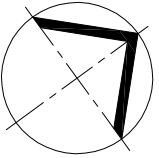
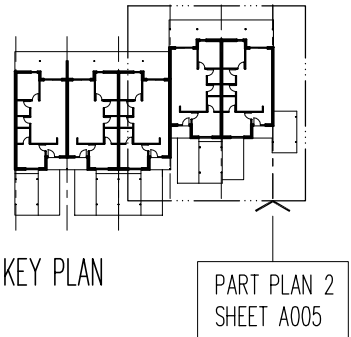
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Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14
Sheet No. A004 OF 28	Project No. 14.05	Scale AS SHOWN	Rev A3





LEGEND

- 76 METAL STUD FRAMING
- 200 SERIES CONCRETE BLOCKWORK
- CONCRETE BLOCK FIRE WALL FRL 60/60/60 Rw45
- SHS COLUMN
- DOWN PIPE
- SMOKE ALARM TO COMPLY WITH BCA REQUIREMENT
- HB HAND BASIN
- WC WATER CLOSET
- SHR SHOWER RECESS
- TR TROUGH
- SI STAINLESS STEEL SINK
- BE BENCH
- PA PANTRY
- WM WASHING MACHINE (NOT IN CONTRACT)
- ST STOVE
- RH RANGEHOOD
- DW DISHWASHER RECESS
- REF REFRIGERATOR (NOT IN CONTRACT)



ELEVATION KEY

FLOOR PLAN PART 2

SCALE 1:100 @ A3

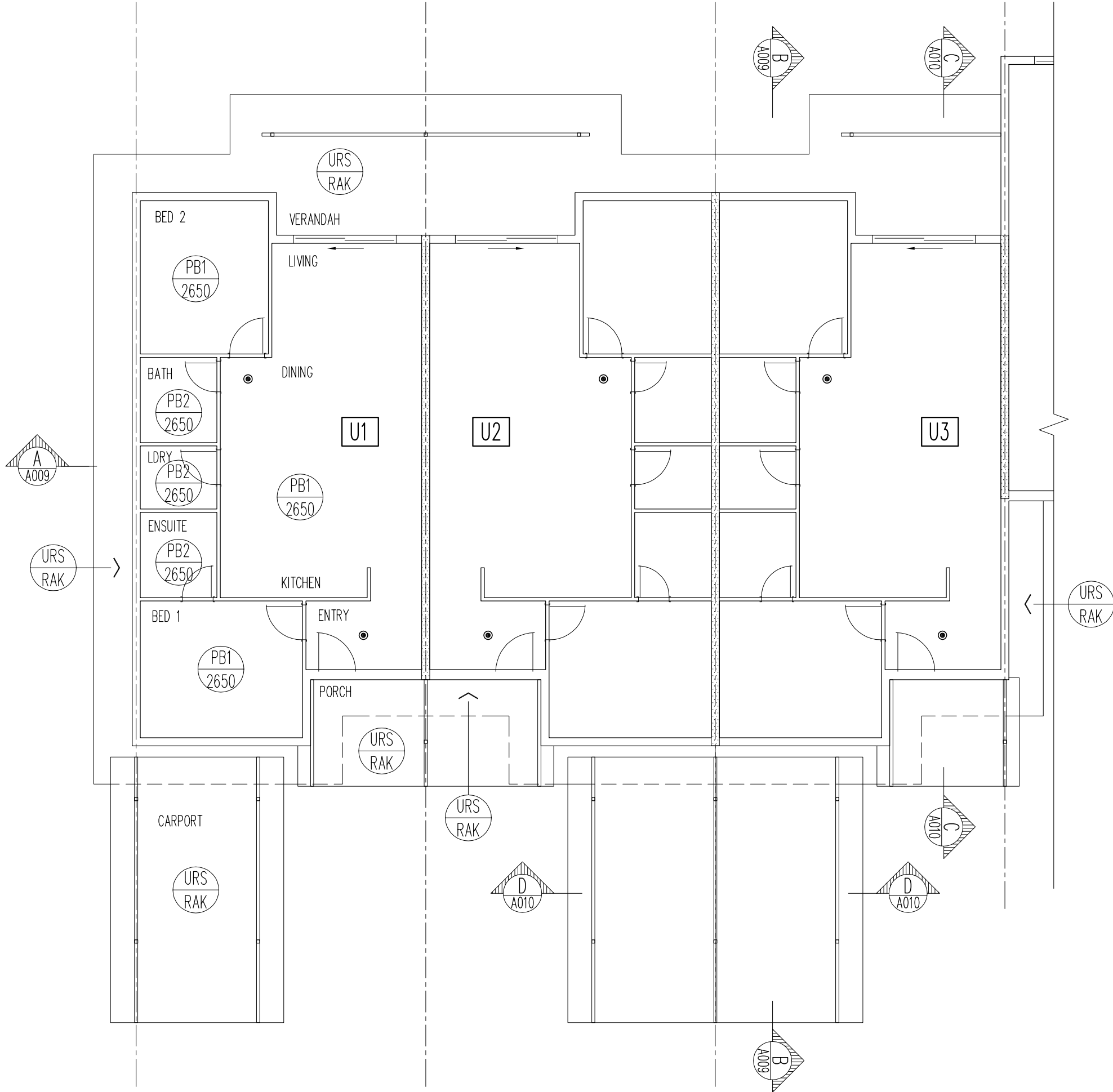
No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
5 VILLAS  
FLOOR PLAN PART 2

FOR TENDER

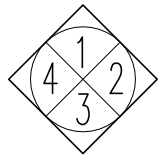
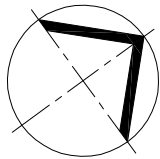
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Sheet No. A005 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



CEILING LEGEND

PB2 — CEILING TYPE  
2650 — CEILING HEIGHT ABOVE FLOOR

- PB1 10mm FLUSHED PLASTERBOARD. PAINT FINISH
- PB2 10mm WATER RESISTANT FLUSHED PLASTERBOARD. PAINT FINISH
- URS UNDERSIDE OF ROOF SHEETING
- RAK RAKING
- SMOKE ALARM TO COMPLY WITH BCA REQUIREMENT



ELEVATION KEY

REFLECTED CEILING PLAN

SCALE 1:100 @ A3

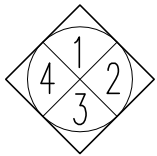
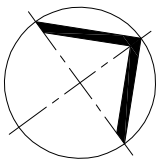
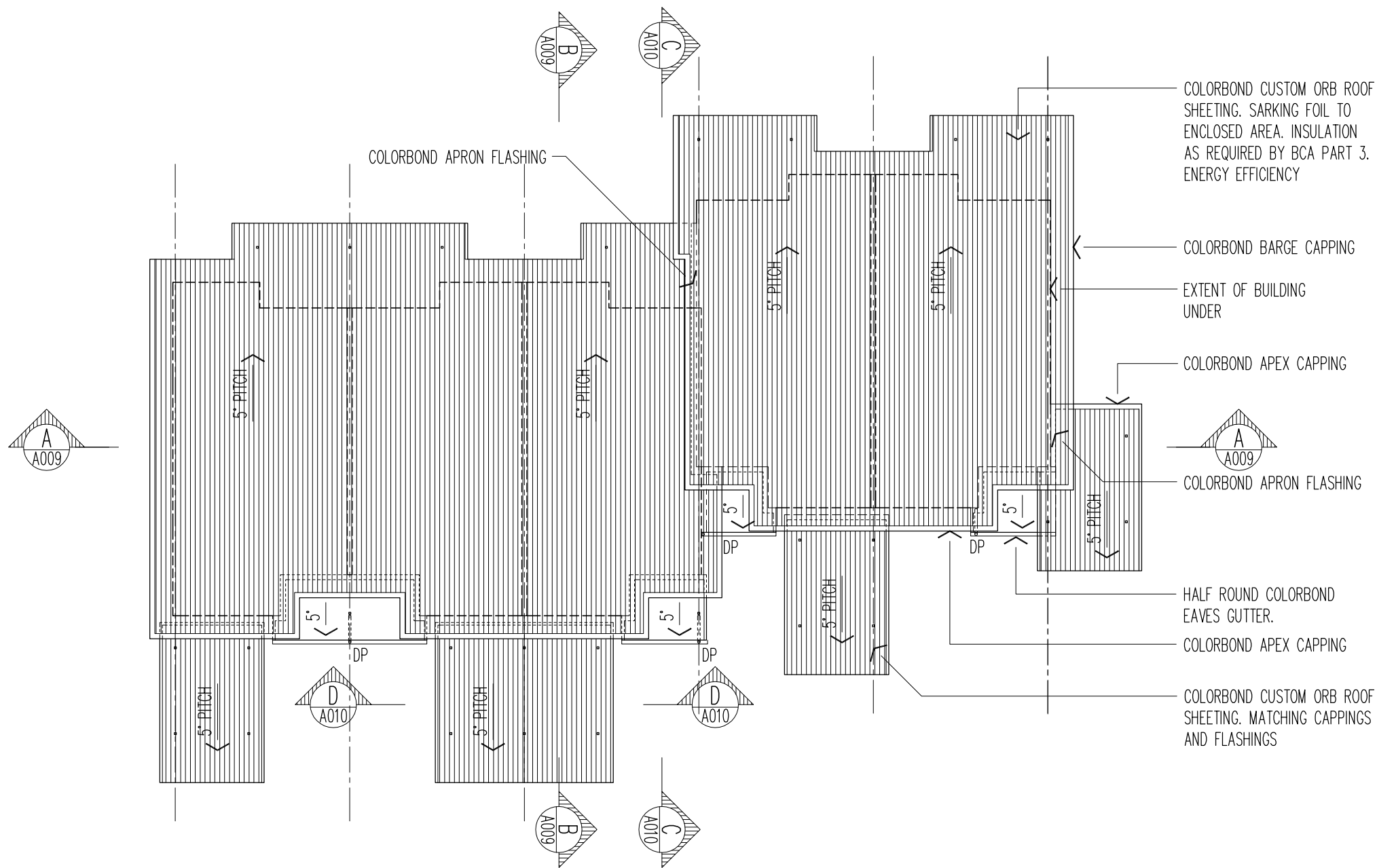
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No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014



PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
5 VILLAS  
REFLECTED CEILING PLAN

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A006 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



ELEVATION KEY

ROOF PLAN

SCALE 1:200 @ A3

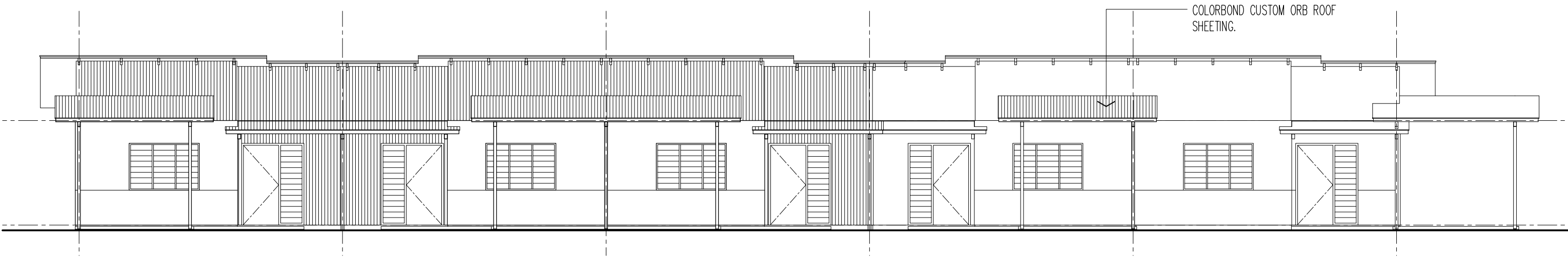
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No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
5 VILLAS  
ROOF PLAN

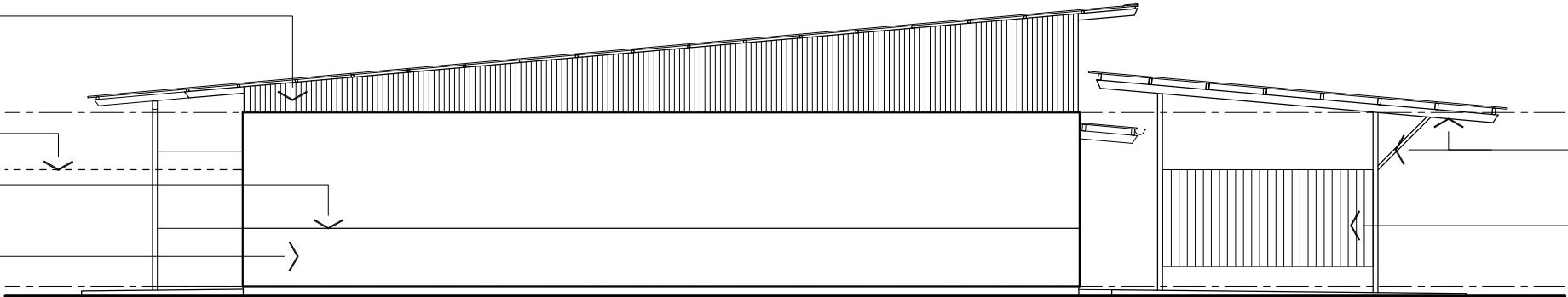
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Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A007 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



ELEVATION 1

SCALE 1:100 @ A3

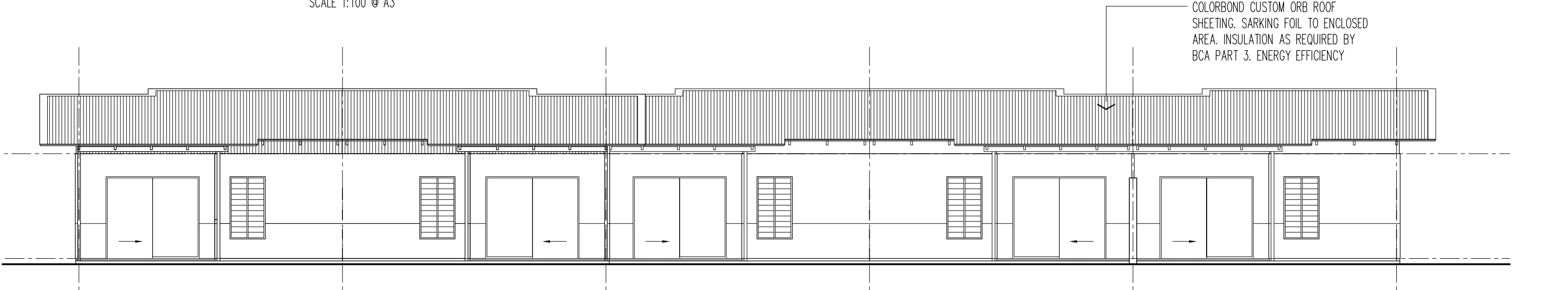
COLORBOND CUSTOM ORB WALL  
CLADDING. SARKING FOIL UNDER.  
INSULATION AS REQUIRED TO BCA  
PART 3. ENERGY EFFICIENCY  
REFER SHEET A002 FOR FENCE  
TOOL JOINT. CHANGE IN COLOUR  
@900 AFL  
QUICKWALL RENDER. PAINTED



PAINTED STEEL BEAMS,  
COLUMNS AND STRUTS  
ALUMINIUM TIMBER GRAIN  
PRIVACY SCREEN

ELEVATION 2

SCALE 1:100 @ A3



ELEVATION 3

SCALE 1:100 @ A3

COLORBOND CUSTOM ORB ROOF  
SHEETING. SARKING FOIL TO ENCLOSED  
AREA. INSULATION AS REQUIRED BY  
BCA PART 3. ENERGY EFFICIENCY

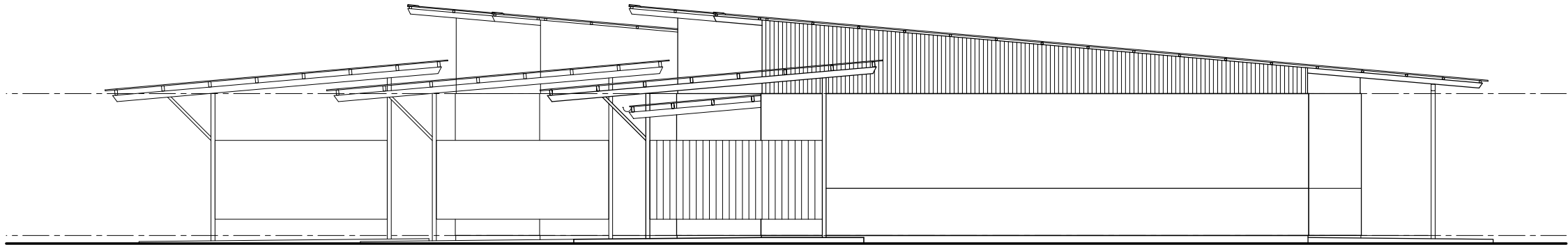
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No.	AMENDMENT DESCRIPTION	DATE
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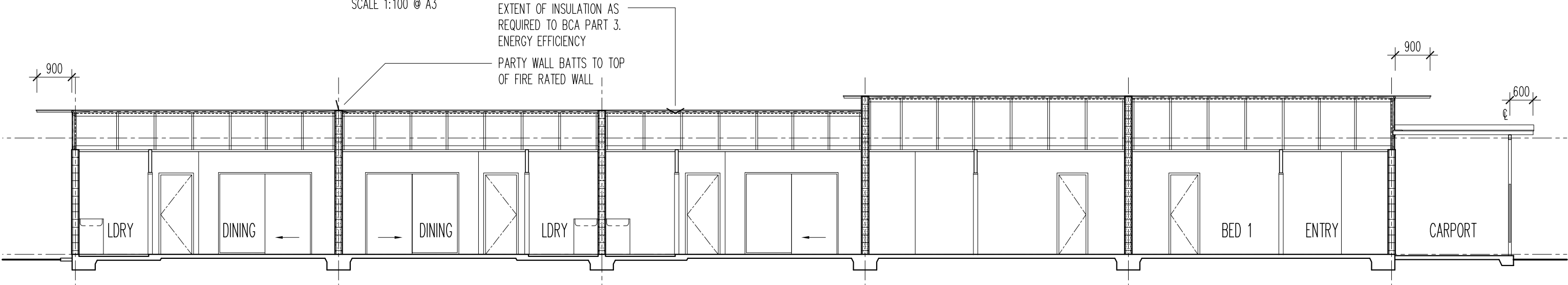
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
5 VILLAS  
ELEVATION 1, 2 AND 3

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A008 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

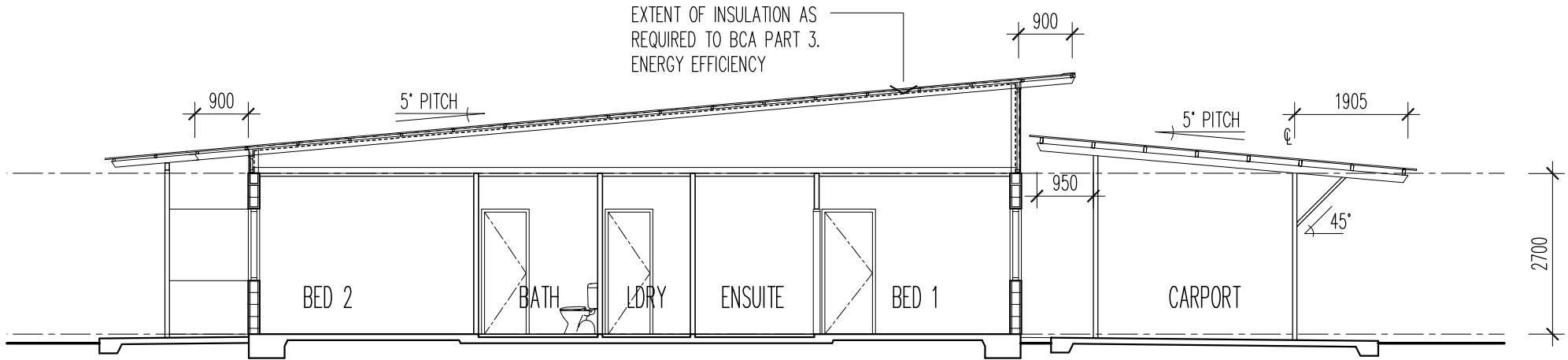


ELEVATION 4  
SCALE 1:100 @ A3



SECTION  
SCALE 1:100 @ A3

A  
A04



SECTION  
SCALE 1:100 @ A3

B  
A04

24/04/2014 11:59:53 AM

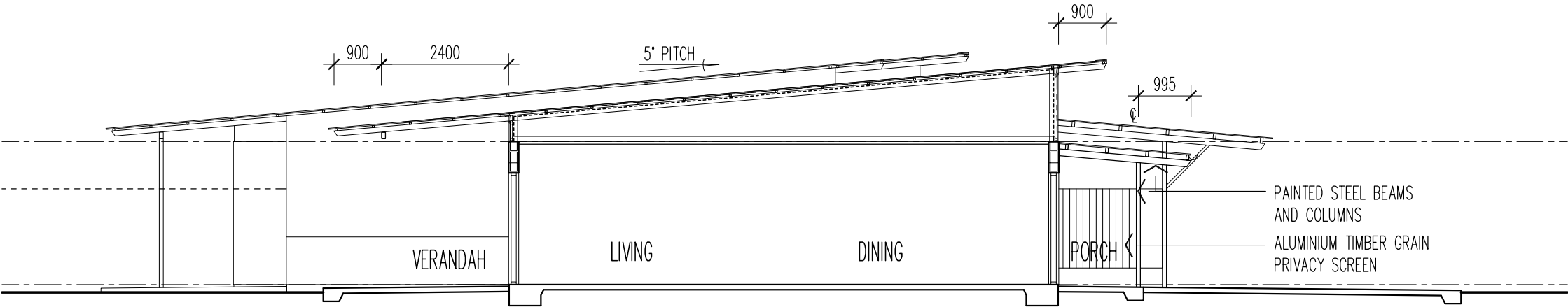
No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

plattconsultants

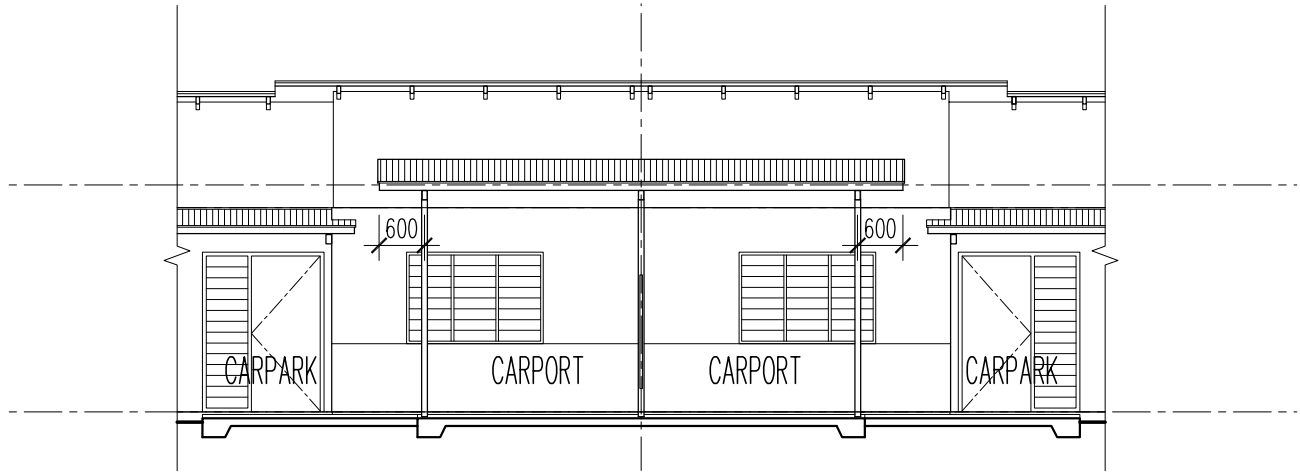
PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
5 VILLAS  
ELEVATION 4, SECTIONS A-A AND B-B

FOR TENDER				
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Sheet No. A009 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

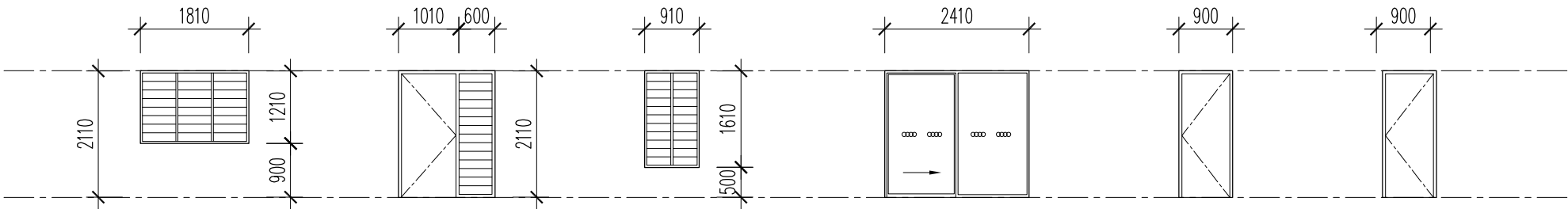




SECTION C  
SCALE 1:100 @ A3



SECTION D  
SCALE 1:100 @ A3



- W1

ALL LOUVRE WINDOWS:  
152mm CLIP LOUVRE SYSTEM  
IN ALUMINIUM SURROUND  
FRAME. POWDERCOAT FINISH.  
ALUMINIUM FLYSCREENS AND  
SECURITY BARS
- D1 W2

NOM. 50x100 ALUMINIUM  
FRAME. POWDER COAT FINISH.  
SOLID CORE EXTERNAL DOOR.  
PROPRIETARY WOVEN  
STAINLESS STEEL MESH  
SECURITY DOOR
- W3
- D2

COMMERCIAL GRADE  
ALUMINIUM SLIDING DOOR  
ASSEMBLY. POWDER COAT  
FINISH. PROPRIETARY WOVEN  
STAINLESS STEEL MESH  
SECURITY SLIDING DOOR
- D3, D7

PM DOOR FRAME.  
HOLLOW CORE  
DOOR. PAINT  
FINISH
- D4, D5, D6

PM DOOR FRAME.  
MR HOLLOW  
CORE DOOR.  
PAINT FINISH

PELMET BOARD. TYPICAL TO ALL WINDOWS  
AND SLIDING GLASS DOORS. 19x90 HW.  
EXTEND 150 BOTH SIDES OF WINDOW.  
CONCEALED FIXING

WINDOW AND DOOR SCHEDULE U1, U3 AND U5 U2 AND U4 MIRRORED

SCALE 1:100 @A3

ALL ALUMINIUM FRAMED WINDOWS AND DOORS, INCLUDING FRAMES AND FIXINGS TO BE CERTIFIED BY  
A STRUCTURAL ENGINEER AND SHALL BE IN ACCORDANCE WITH AS 1288, AS 2047 AND AS 2048.

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

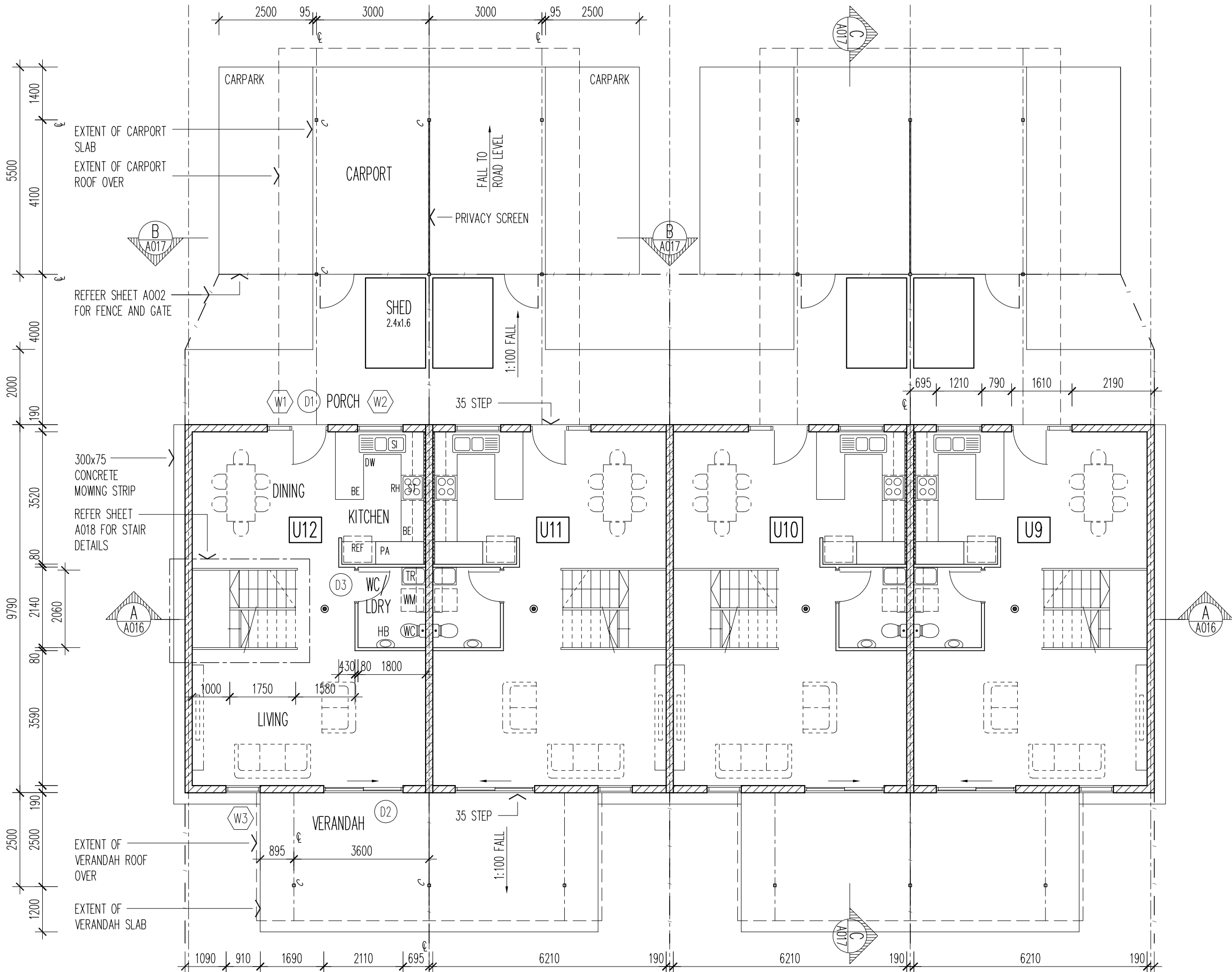
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

5 VILLAS  
SECTIONS C-C & D-D, WINDOW & DOOR SCHEDULE

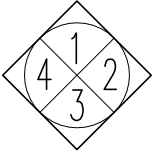
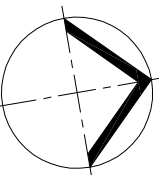
FOR TENDER

Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A010 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



LEGEND

- 76 METAL STUD FRAMING
- 200 SERIES CONCRETE BLOCKWORK
- CONCRETE BLOCK FIRE WALL FRL 60/60/60 Rw45
- Rw50 + IMPACT SOUND RESISTANCE
- SHS COLUMN
- SMOKE ALARM TO COMPLY WITH BCA REQUIREMENT
- HB HAND BASIN
- WC WATER CLOSET
- SHR SHOWER RECESS
- TR TROUGH
- SI STAINLESS STEEL SINK
- BE BENCH
- PA PANTRY
- WM WASHING MACHINE (NOT IN CONTRACT)
- ST STOVE
- RH RANGEHOOD
- DW DISHWASHER RECESS
- REF REFRIGERATOR (NOT IN CONTRACT)



ELEVATION KEY

GROUND FLOOR PLAN

SCALE 1:100 @ A3

24/04/2014 12:09:19 PM

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

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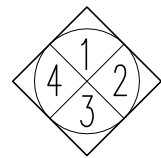
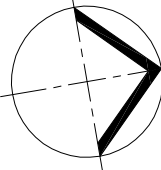
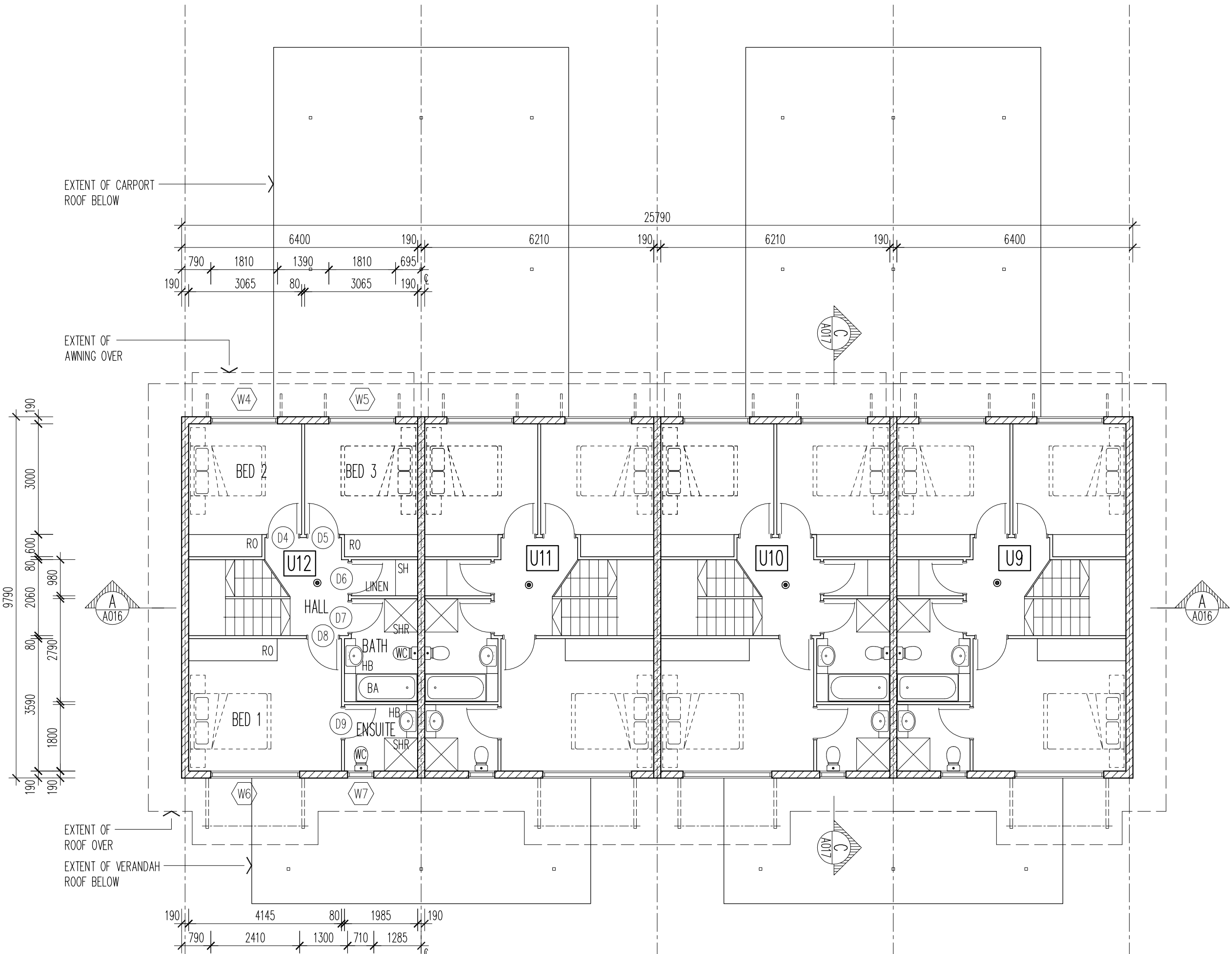
PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
4 TOWN HOUSES  
GROUND FLOOR PLAN

FOR TENDER

Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	<b>A3</b>
Sheet No. A011 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

LEGEND

- 76 METAL STUD FRAMING
- 200 SERIES  
CONCRETE BLOCKWORK
- CONCRETE BLOCK FIRE WALL  
FRL 60/60/60 Rw45
- SMOKE ALARM TO COMPLY  
WITH BCA REQUIREMENT
- HB HAND BASIN  
WC WATER CLOSET  
SHR SHOWER RECESS  
BA BATH  
SH SHELF  
RO ROBE



ELEVATION KEY

FIRST FLOOR PLAN

SCALE 1:100 @ A3

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.03.2014

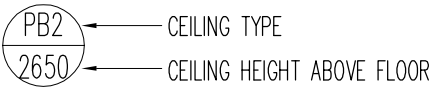
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
4 TOWN HOUSES  
FIRST FLOOR PLAN

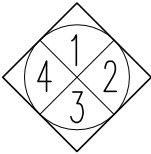
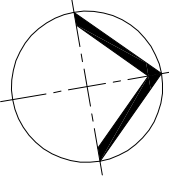
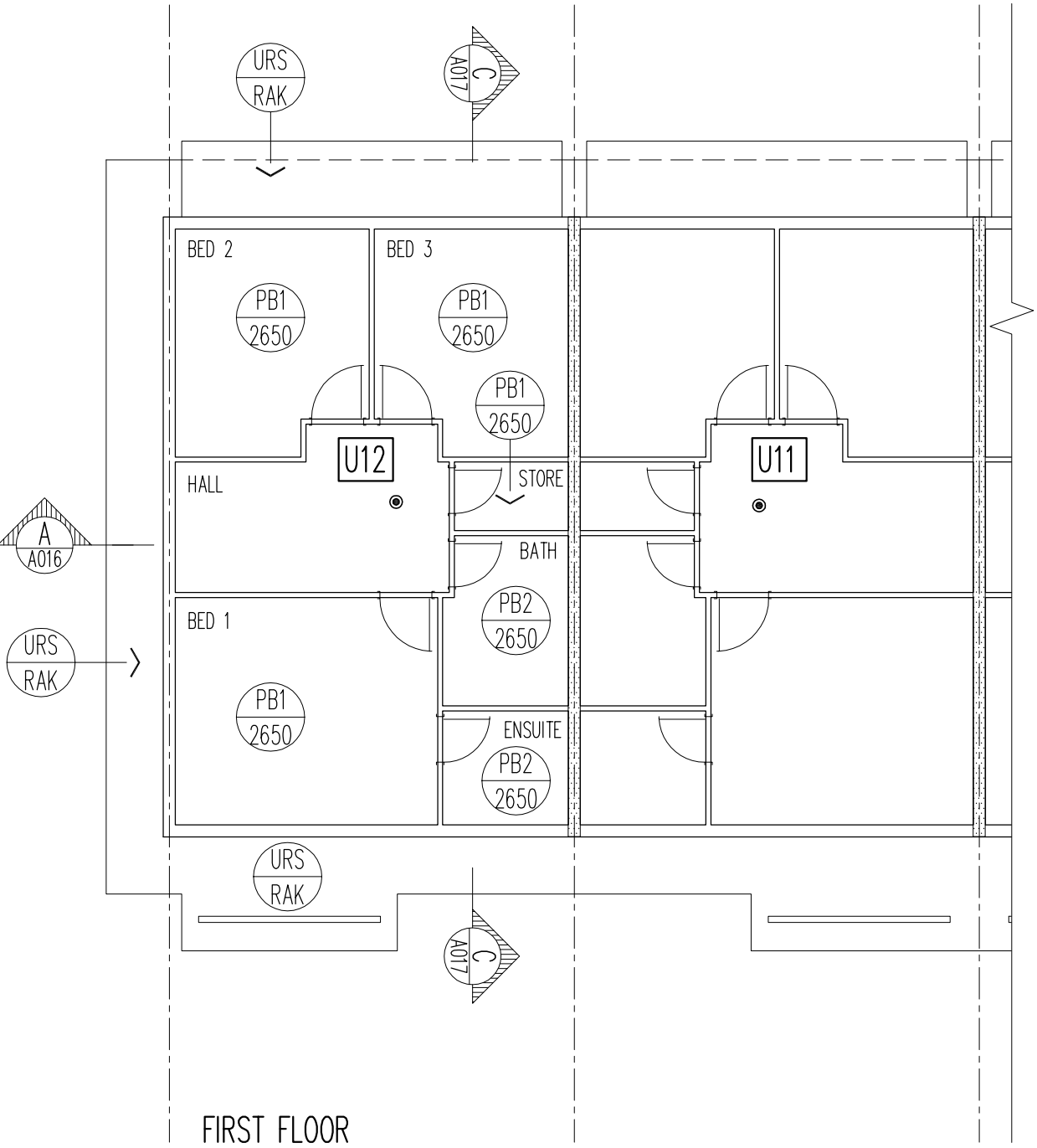
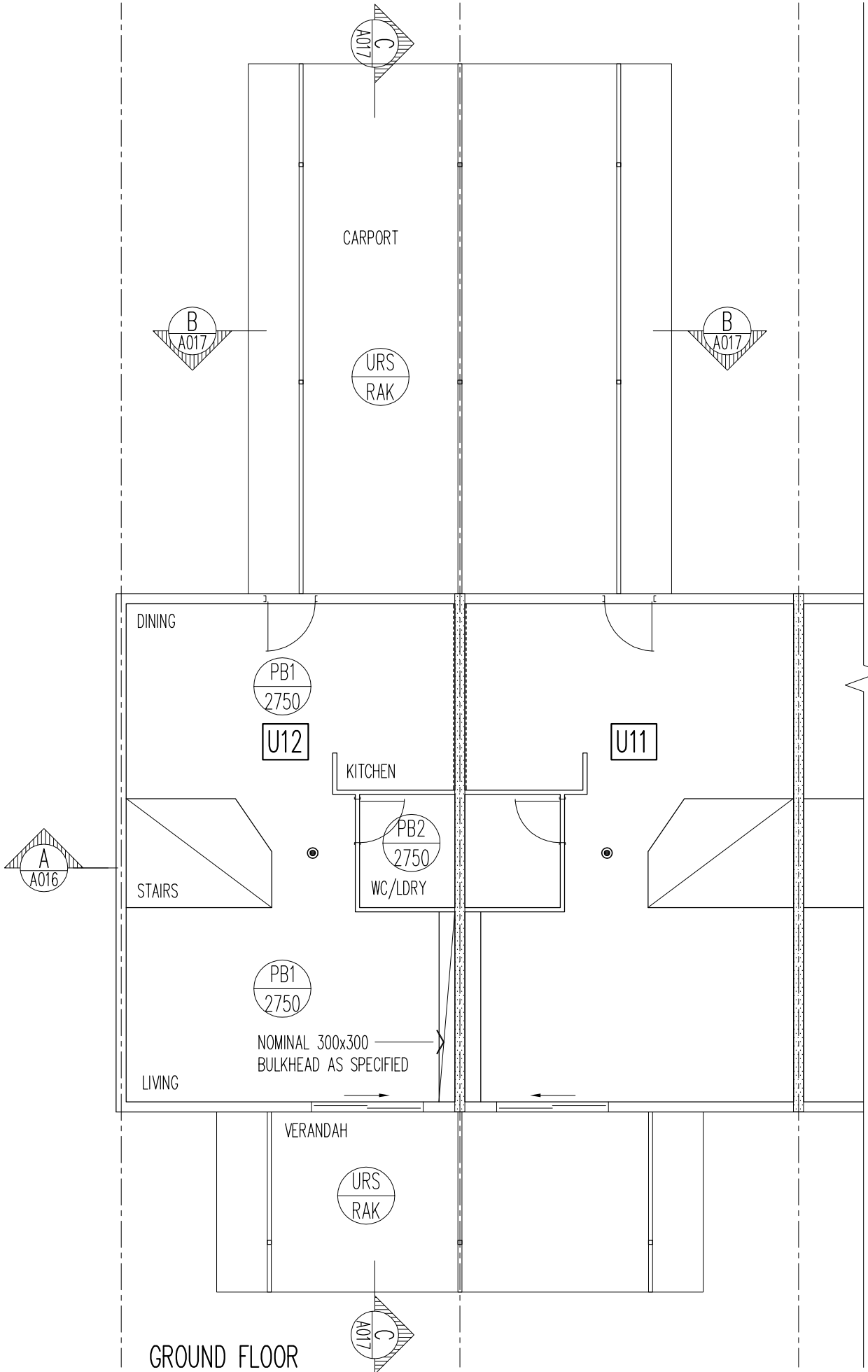
FOR TENDER

Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	<b>A3</b>
Sheet No. A012 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

CEILING LEGEND



- PB1 10mm FLUSHED PLASTERBOARD.  
PAINT FINISH
- PB2 10mm WATER RESISTANT FLUSHED  
PLASTERBOARD. PAINT FINISH
- URS UNDERSIDE OF ROOF SHEETING
- RAK RAKING
- SMOKE ALARM TO COMPLY  
WITH BCA REQUIREMENT



ELEVATION KEY

REFLECTED CEILING PLAN

SCALE 1:100 @ A3

No.	AMENDMENT DESCRIPTION	DATE
ISSUED FOR TENDER		24.04.2014

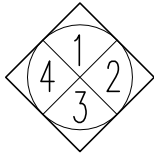
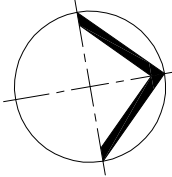
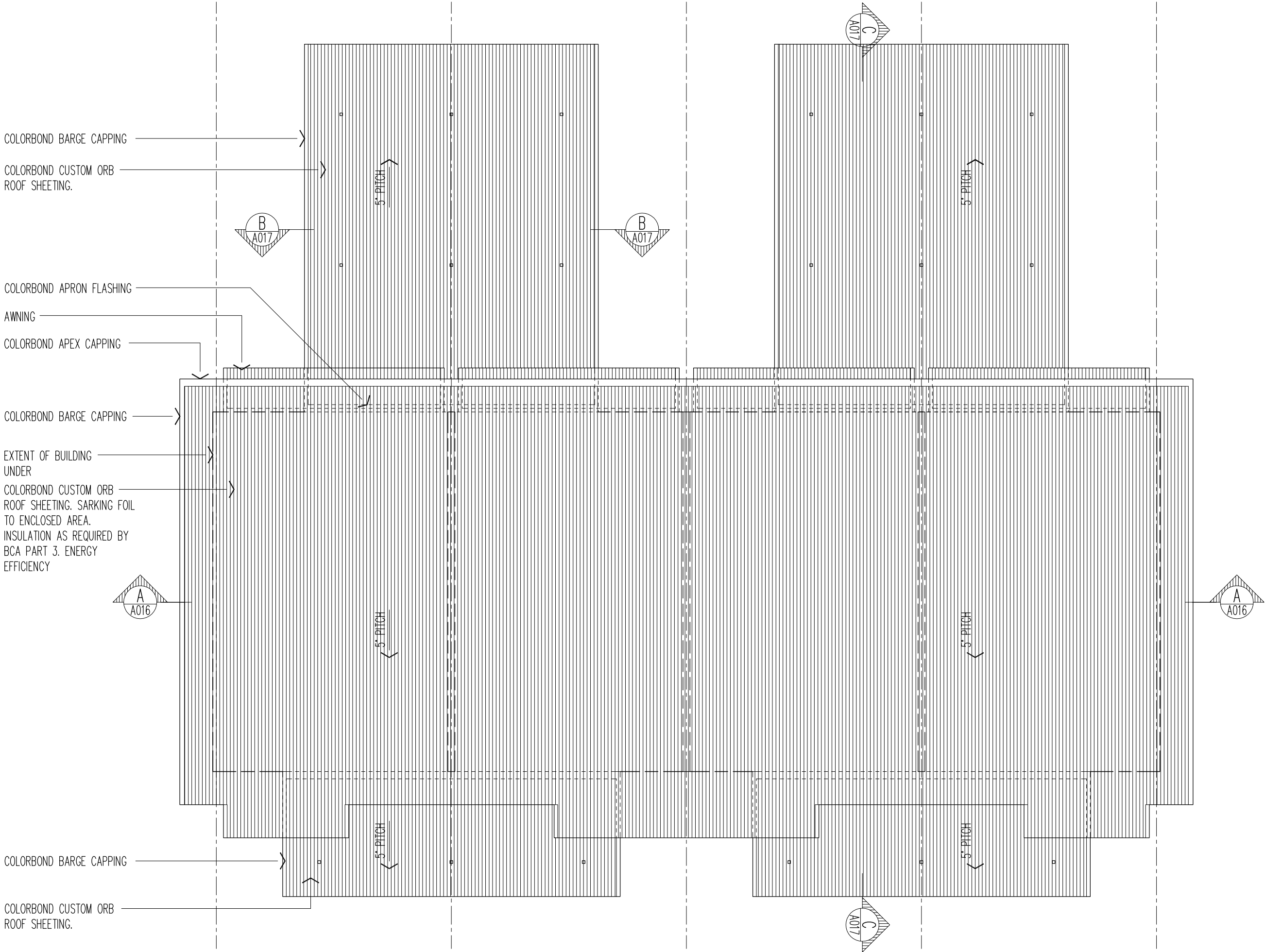
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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

4 TOWN HOUSES  
REFLECTED CEILING PLAN

FOR TENDER

Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	<b>A3</b>
Sheet No. A013 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



ELEVATION KEY

ROOF PLAN  
SCALE 1:100 @ A3

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

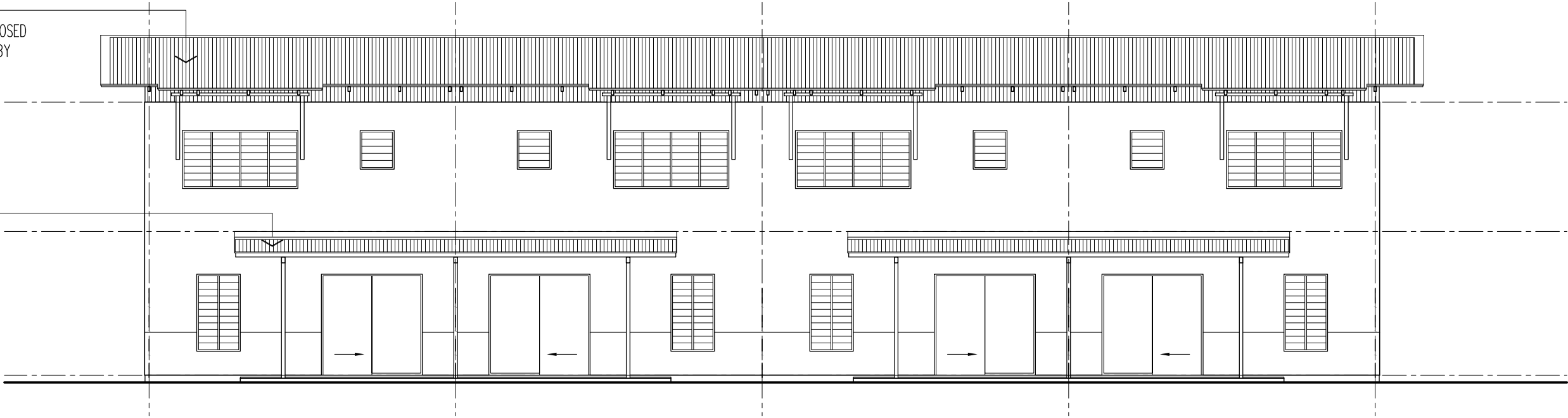
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
4 TOWN HOUSES  
ROOF PLAN

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A014 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

COLORBOND CUSTOM ORB ROOF SHEETING. SARKING FOIL TO ENCLOSED AREA. INSULATION AS REQUIRED BY BCA PART 3. ENERGY EFFICIENCY

COLORBOND CUSTOM ORB ROOF SHEETING.

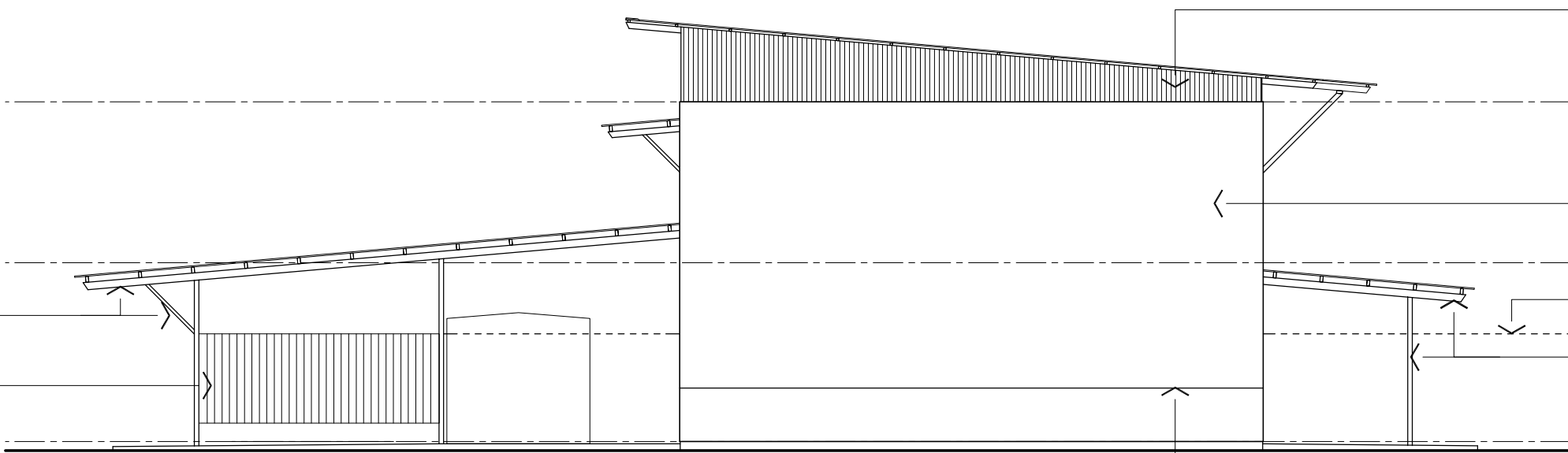


ELEVATION 1

SCALE 1:100 @ A3

PAINTED STEEL BEAMS, COLUMNS AND STRUTS

ALUMINIUM TIMBER GRAIN PRIVACY SCREEN



ELEVATION 2 ELEVATION 4 MIRRORED

SCALE 1:100 @ A3

COLORBOND CUSTOM ORB WALL CLADDING. SARKING FOIL UNDER. INSULATION AS REQUIRED TO BCA PART 3. ENERGY EFFICIENCY

QUICKWALL RENDER. PAINTED

REFER SHEET A002 FOR FENCE

PAINTED STEEL BEAMS AND COLUMNS

TOOL JOINT. CHANGE IN COLOUR @900 AFL

24/04/2014 12:11:06 PM

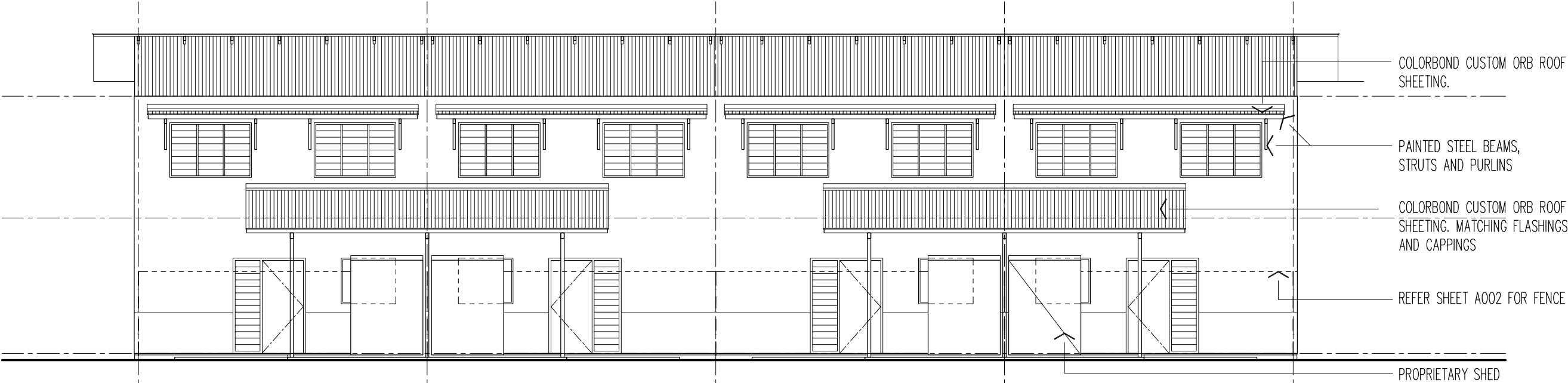
No.	AMENDMENT DESCRIPTION	DATE
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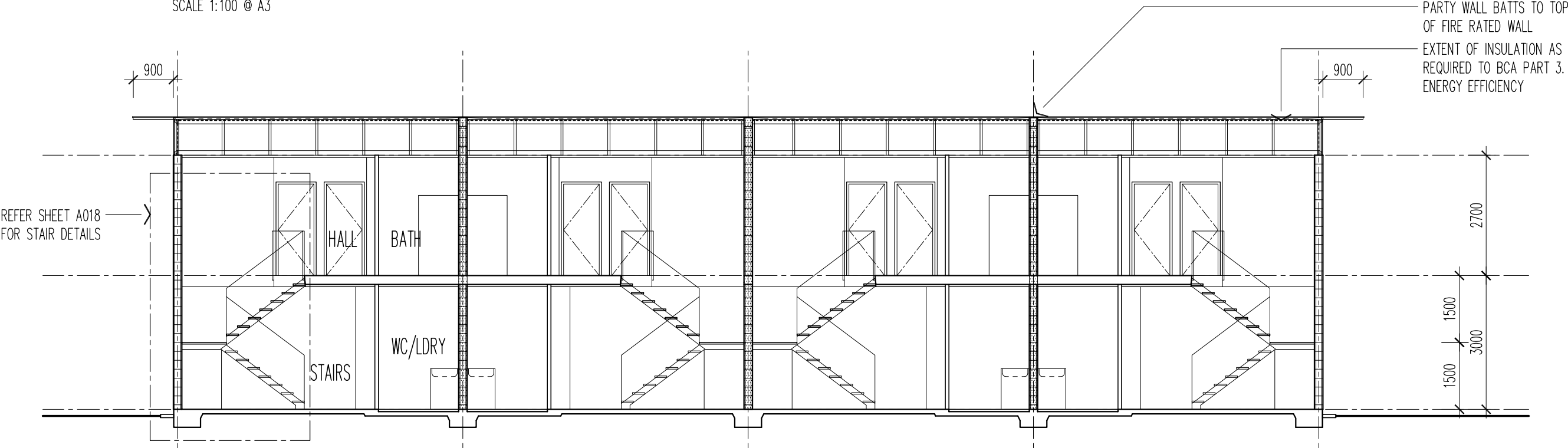
PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

4 TOWN HOUSES  
ELEVATION 1, 2 AND 4

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A015 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



ELEVATION 3  
SCALE 1:100 @ A3



SECTION  
SCALE 1:100 @ A3

A  
A011

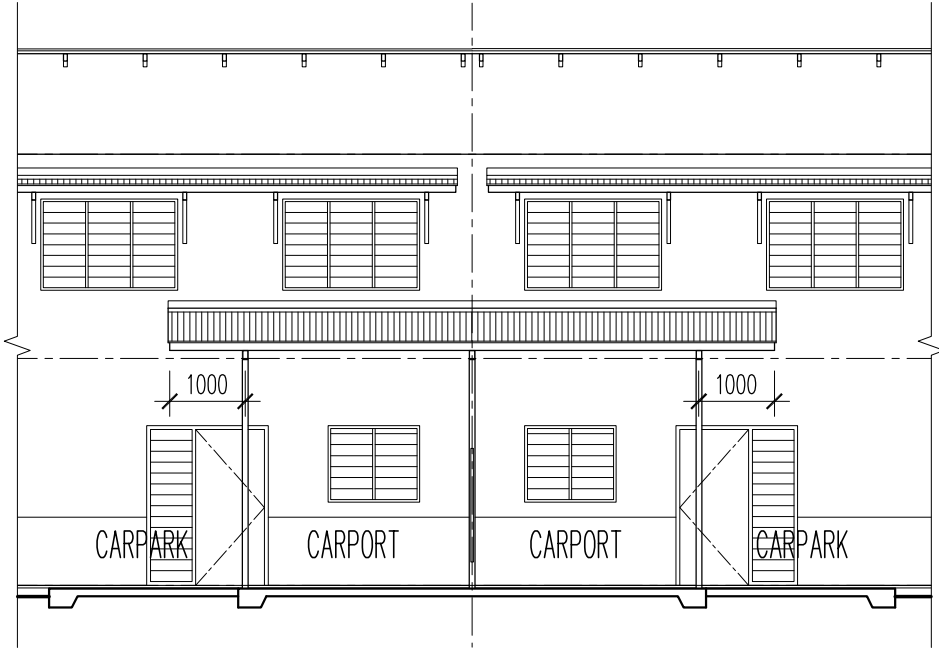
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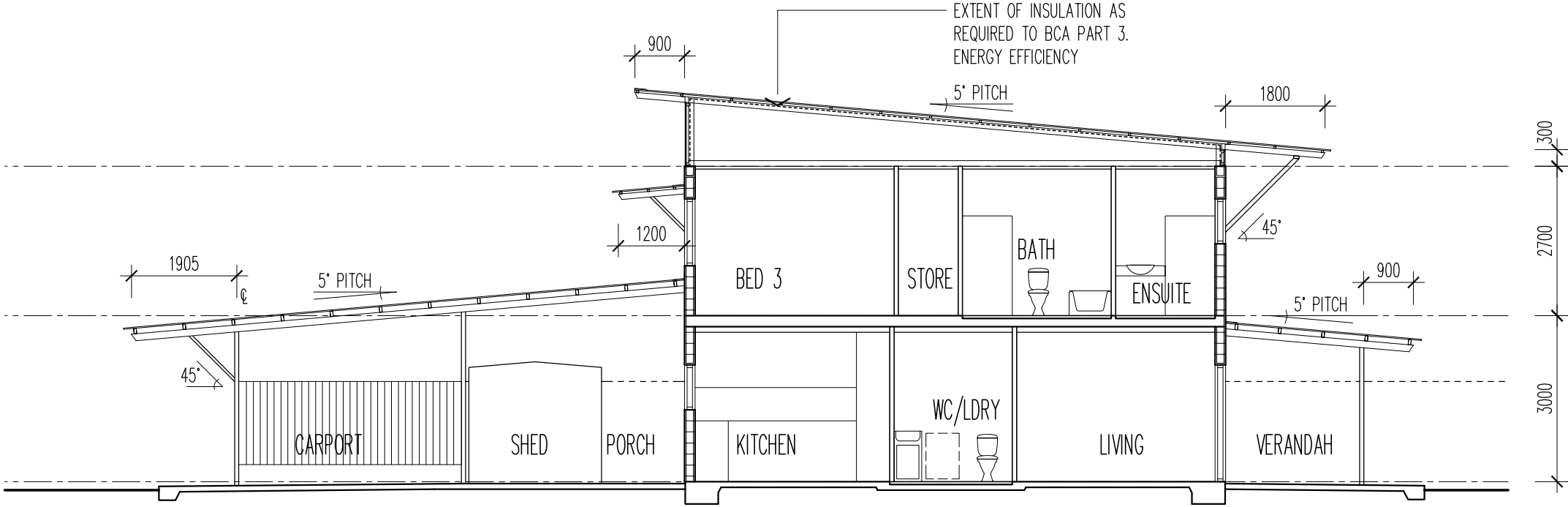
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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
4 TOWN HOUSES  
ELEVATION 3, SECTION A-A

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A016 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



SECTION B  
SCALE 1:100 @ A3



SECTION C  
SCALE 1:100 @ A3

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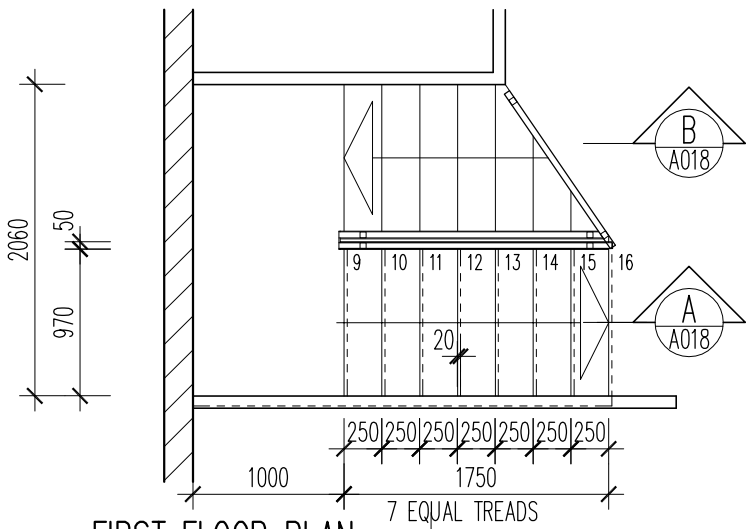
No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014



PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
4 TOWN HOUSES  
SECTION B-B AND C-C

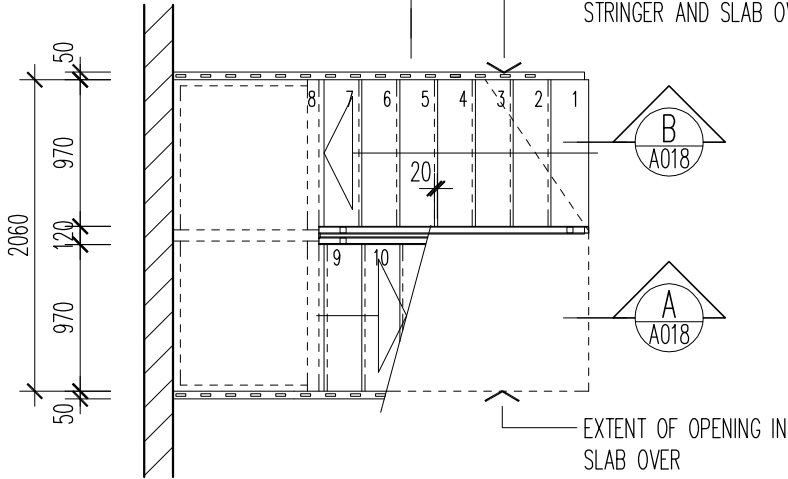
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Sheet No. A017 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	





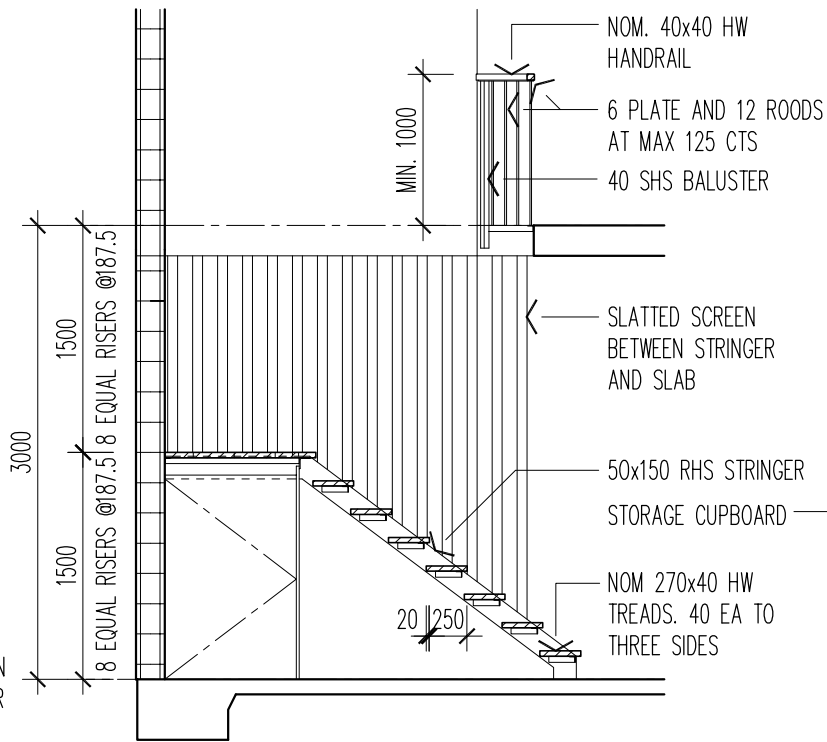
FIRST FLOOR PLAN

SCALE 1:50 @ A3



GROUND FLOOR PLAN

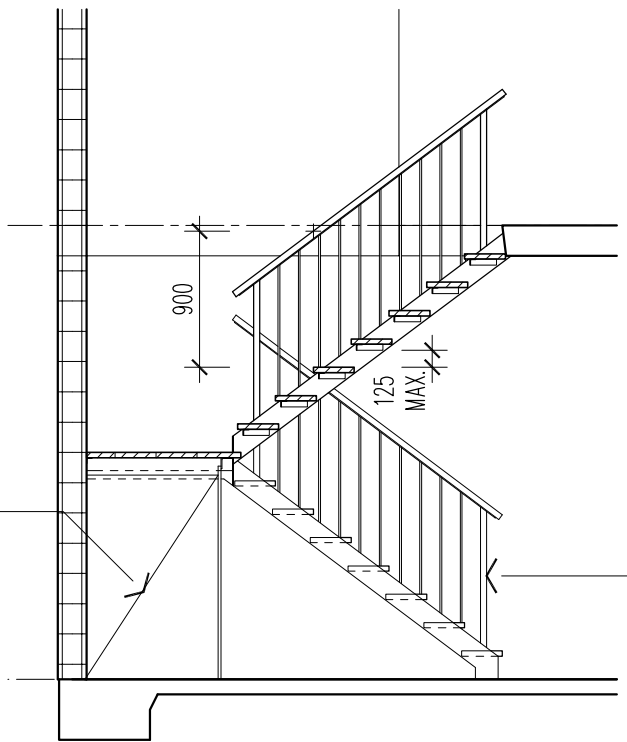
SCALE 1:50 @ A3



SECTION

SCALE 1:50 @ A3

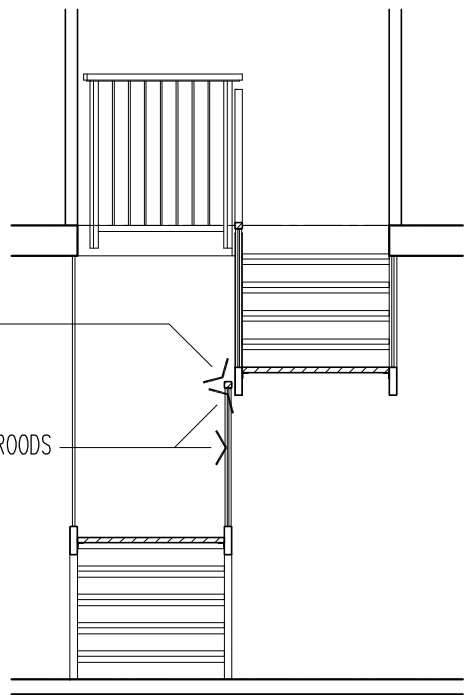
A  
A018



SECTION

SCALE 1:50 @ A3

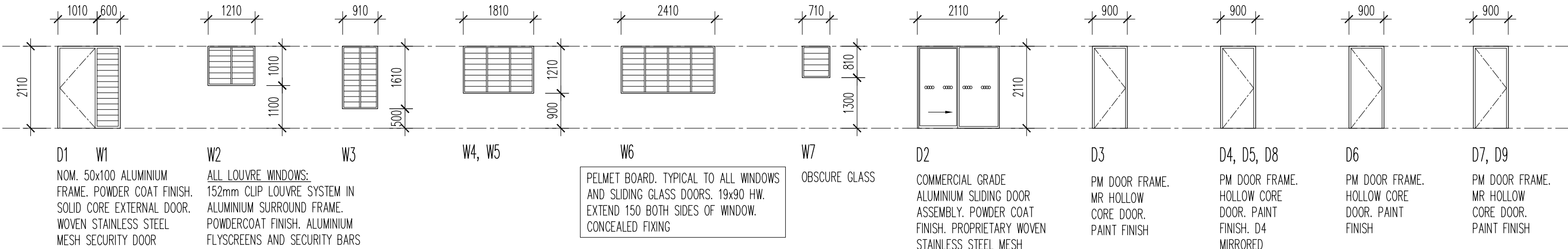
B  
A018



SECTION

SCALE 1:50 @ A3

C  
A018



WINDOW AND DOOR SCHEDULE U10 AND U12. U9 AND U11 MIRRORED

SCALE 1:100 @A3

ALL ALUMINIUM FRAMED WINDOWS AND DOORS, INCLUDING FRAMES AND FIXINGS TO BE CERTIFIED BY A STRUCTURAL ENGINEER AND SHALL BE IN ACCORDANCE WITH AS 1288, AS 2047 AND AS 2048.

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

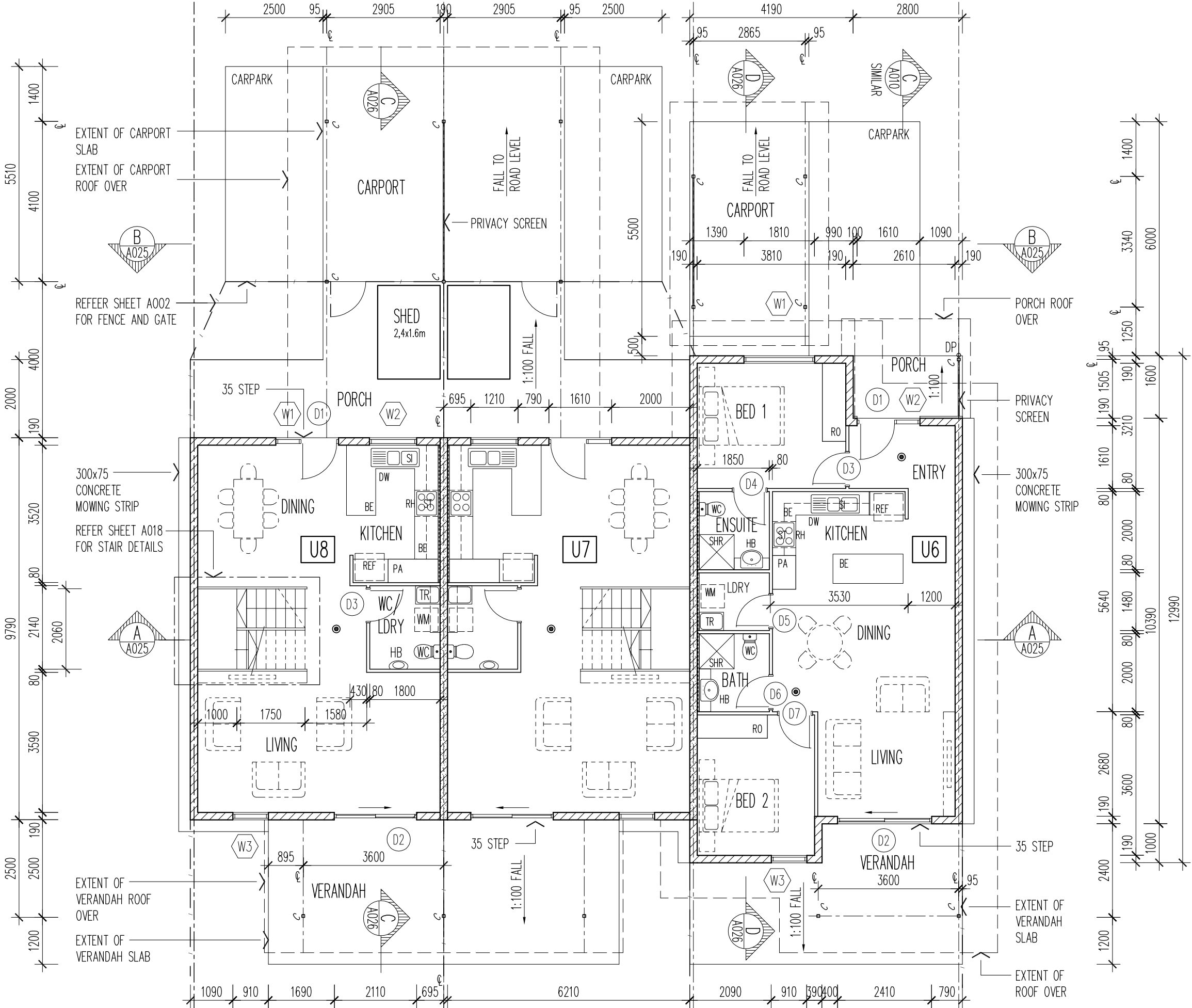
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

4 TOWN HOUSES  
STAIRS, WINDOW AND DOOR SCHEDULE

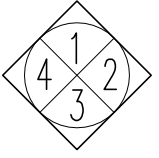
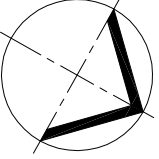
FOR TENDER

Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A018 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



LEGEND

- 76 METAL STUD FRAMING
- 200 SERIES CONCRETE BLOCKWORK
- CONCRETE BLOCK FIRE WALL FRL 60/60/60 Rw45
- Rw50 + IMPACT SOUND RESISTANCE
- SHS COLUMN
- SMOKE ALARM TO COMPLY WITH BCA REQUIREMENT
- HB HAND BASIN
- WC WATER CLOSET
- SHR SHOWER RECESS
- TR TROUGH
- SI STAINLESS STEEL SINK
- BE BENCH
- PA PANTRY
- WM WASHING MACHINE (NOT IN CONTRACT)
- ST STOVE
- RH RANGEHOOD
- DW DISHWASHER RECESS
- REF REFRIGERATOR (NOT IN CONTRACT)



ELEVATION KEY

GROUND FLOOR PLAN

SCALE 1:100 @ A3

24/04/2014 12:21:08 PM

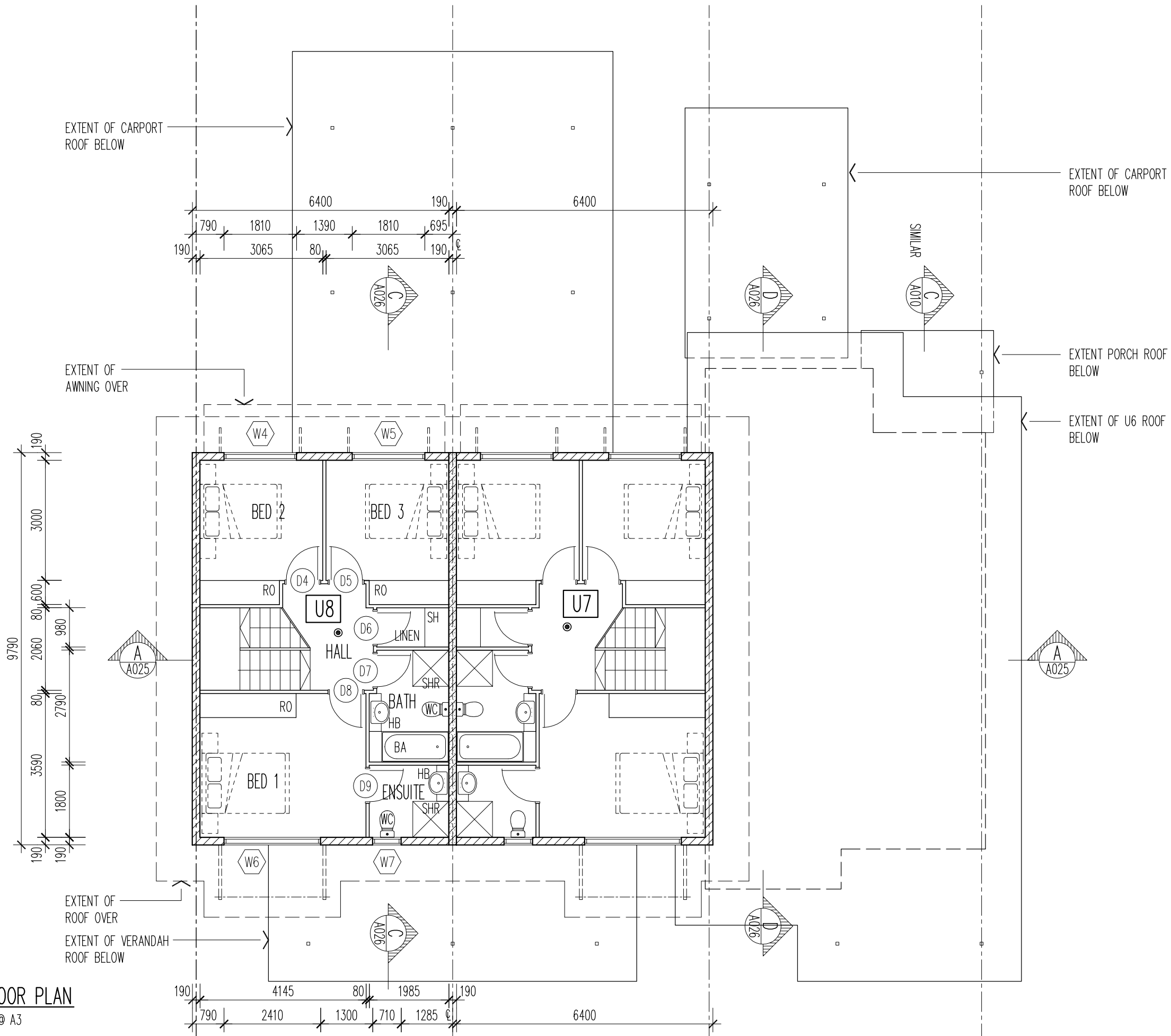
No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
GROUND FLOOR PLAN

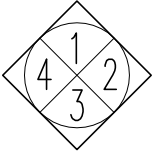
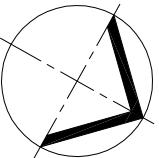
FOR TENDER

Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A019 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



LEGEND

- 76 METAL STUD FRAMING
- 200 SERIES CONCRETE BLOCKWORK
- CONCRETE BLOCK FIRE WALL FRL 60/60/60 Rw45
- SMOKE ALARM TO COMPLY WITH BCA REQUIREMENT
- HB HAND BASIN
- WC WATER CLOSET
- SHR SHOWER RECESS
- BA BATH
- SH SHELF
- RO ROBE



ELEVATION KEY

FIRST FLOOR PLAN  
SCALE 1:100 @ A3

FIRST FLOOR PLAN  
SCALE 1:100 @ A3

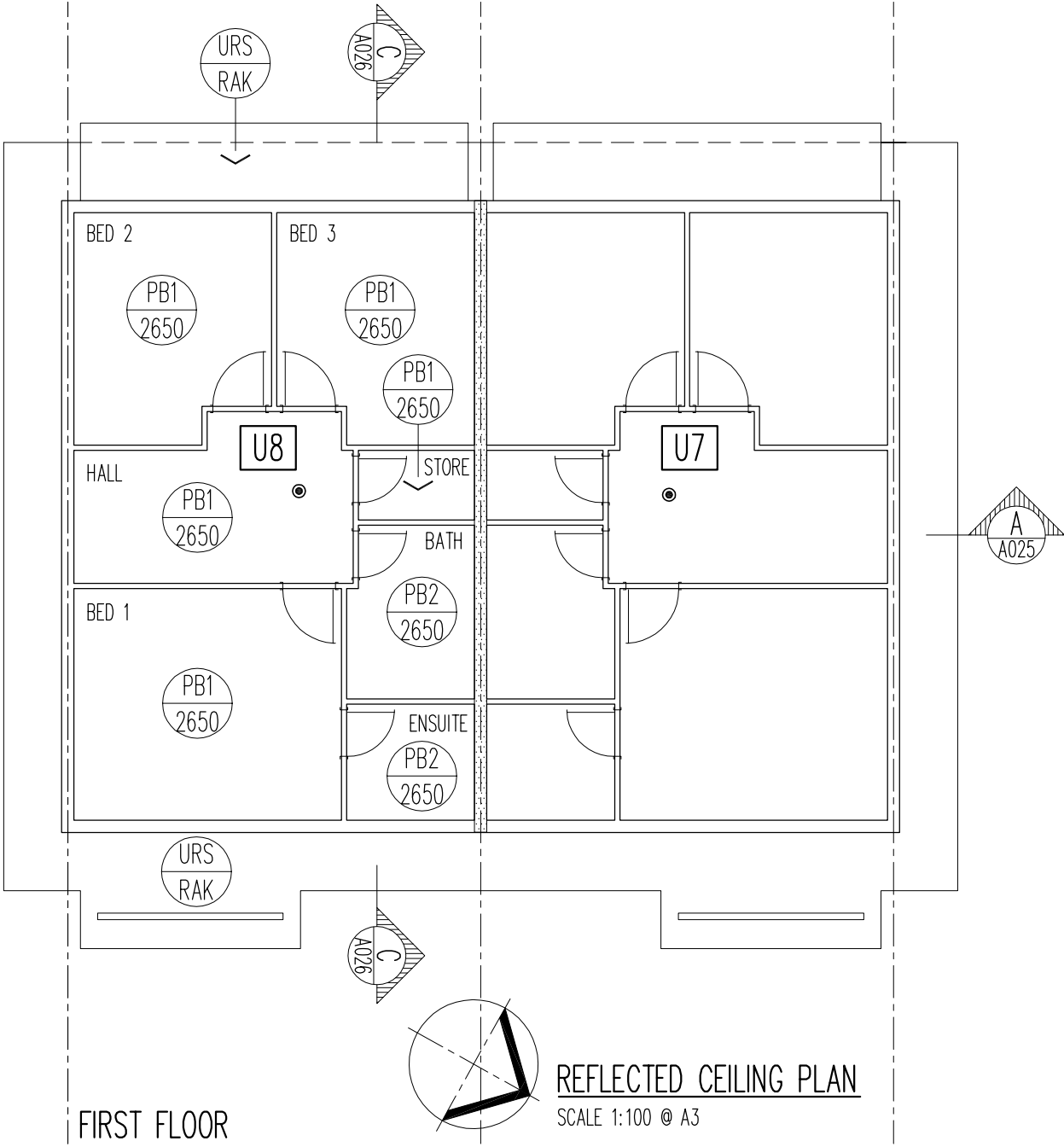
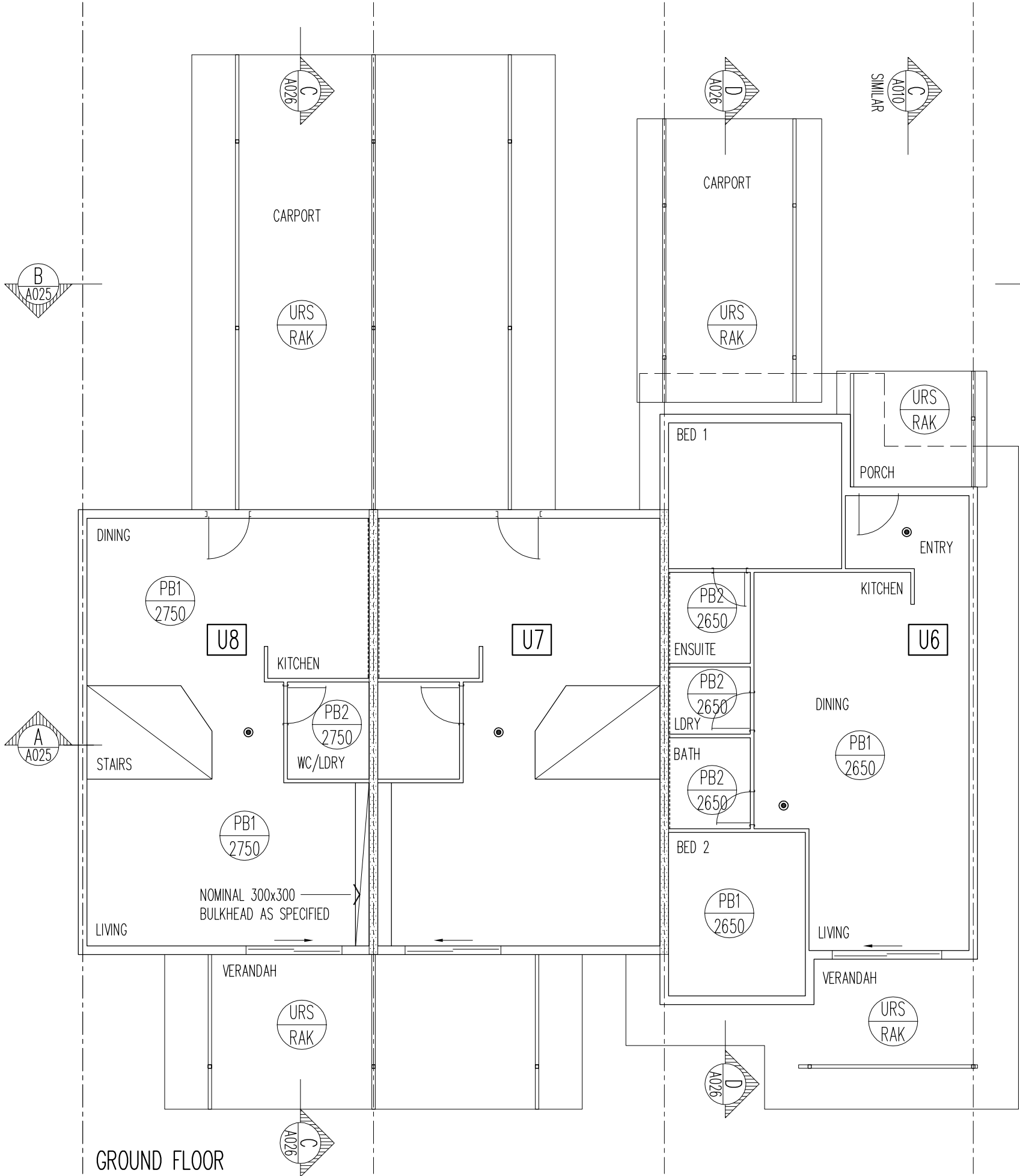
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No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES,U13, U14 AND U15 MIRRORED  
FIRST FLOOR PLAN

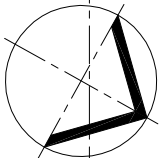
FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A020 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



CEILING LEGEND

PB2 — CEILING TYPE  
2650 — CEILING HEIGHT ABOVE FLOOR

- PB1 10mm FLUSHED PLASTERBOARD.  
PAINT FINISH
- PB2 10mm WATER RESISTANT FLUSHED  
PLASTERBOARD. PAINT FINISH
- URS UNDERSIDE OF ROOF SHEETING
- RAK RAKING
- SMOKE ALARM TO COMPLY  
WITH BCA REQUIREMENT



REFLECTED CEILING PLAN  
SCALE 1:100 @ A3

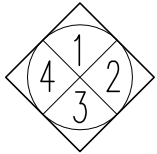
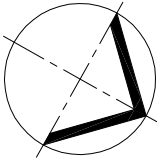
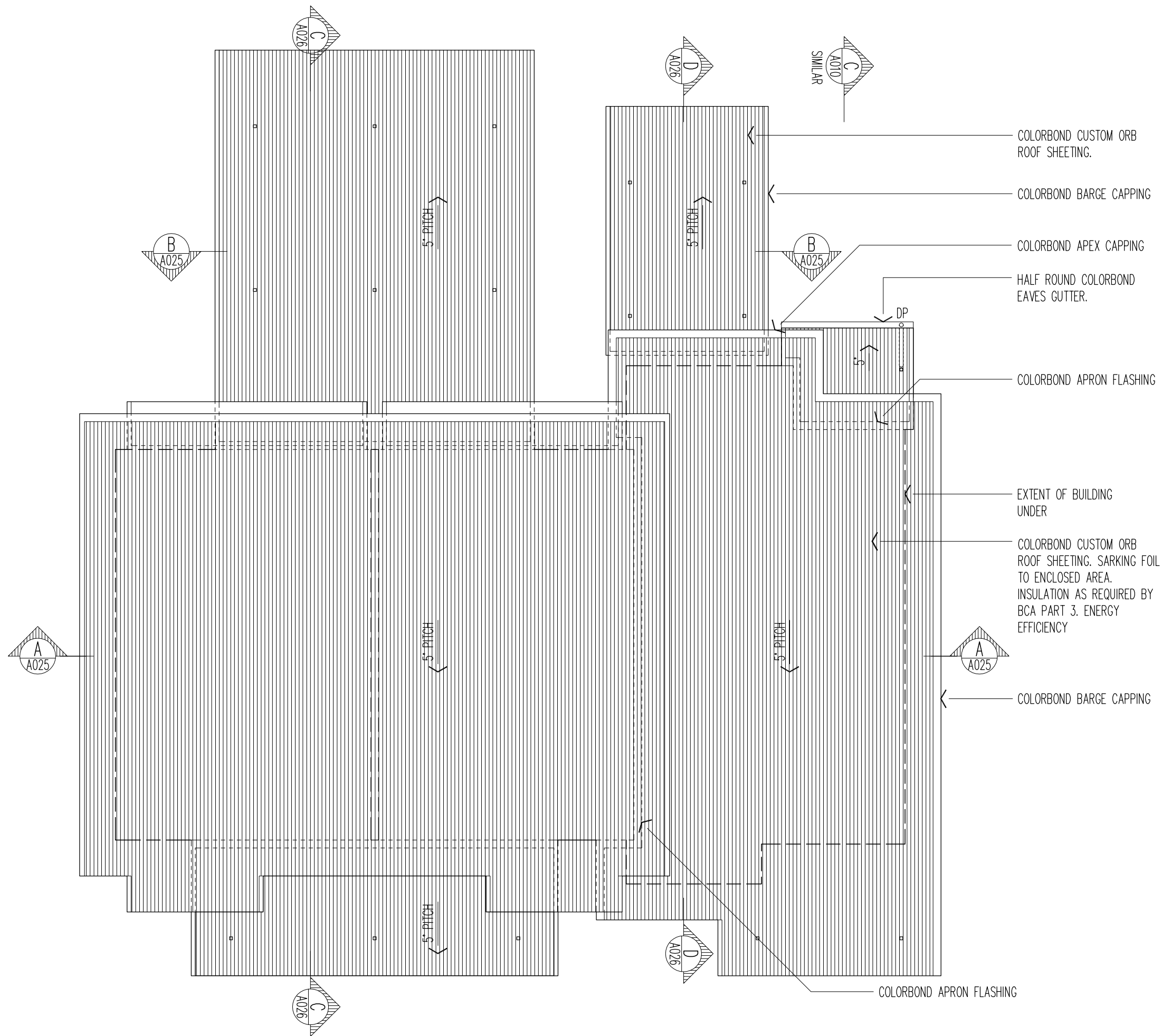
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No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
REFLECTED CEILING PLAN

FOR TENDER			
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14
Sheet No. A021 OF 28	Project No. 14.05	Scale AS SHOWN	Rev A3



ELEVATION KEY

ROOF PLAN  
SCALE 1:100 @ A3

24/04/2014 12:22:28 PM

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
ROOF PLAN

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A022 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	

COLORBOND CUSTOM ORB ROOF SHEETING. SARKING FOIL TO ENCLOSED AREA. INSULATION AS REQUIRED BY BCA PART 3. ENERGY EFFICIENCY

COLORBOND CUSTOM ORB ROOF SHEETING.

PAINTED STEEL BEAM AND COLUMNS

ELEVATION 1  
SCALE 1:100 @ A3

PAINTED STEEL BEAMS, COLUMNS AND STRUTS  
ALUMINIUM TIMBER GRAIN PRIVACY SCREEN

COLORBOND CUSTOM ORB WALL CLADDING. SARKING FOIL UNDER. INSULATION AS REQUIRED TO BCA PART 3. ENERGY EFFICIENCY

QUICKWALL RENDER. PAINTED

REFER SHEET A002 FOR FENCE

PAINTED STEEL BEAMS AND COLUMNS

TOOL JOINT. CHANGE IN COLOUR @900 AFL

ELEVATION 2  
SCALE 1:100 @ A3

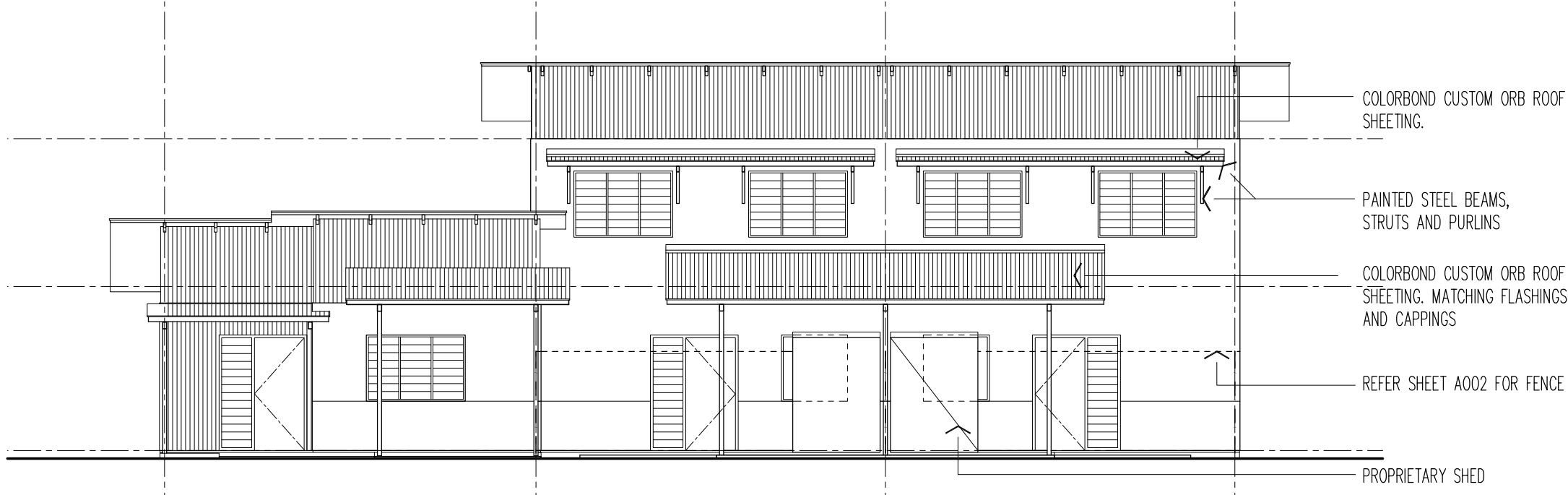
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	ISSUED FOR TENDER	24.04.2014

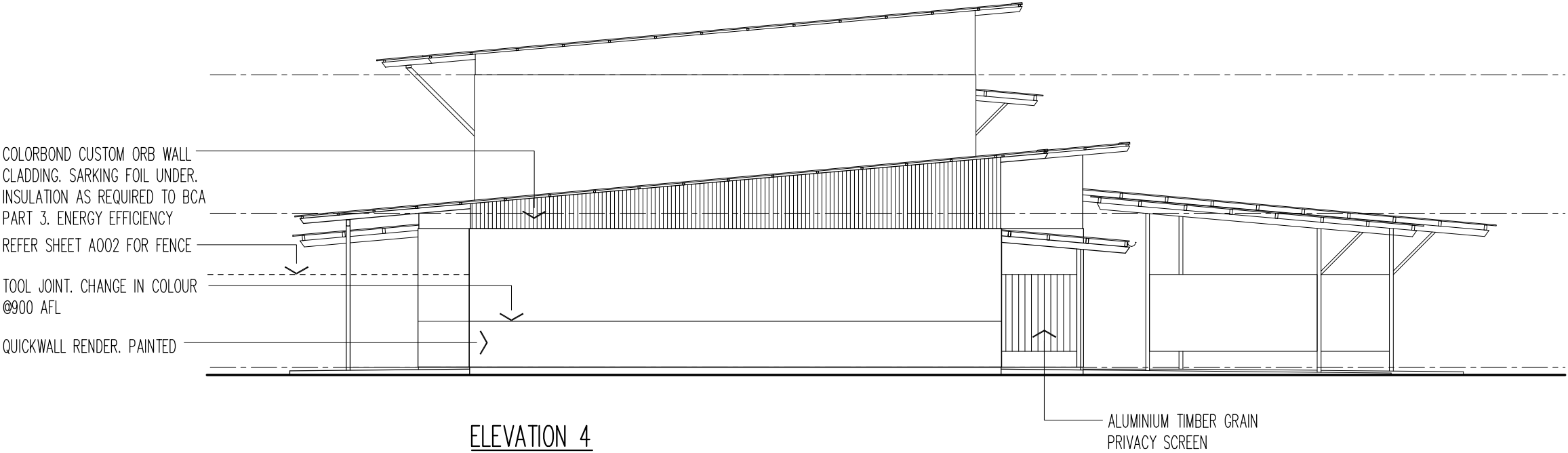
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
ELEVATION 1 AND 2

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A023 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



ELEVATION 3  
SCALE 1:100 @ A3



ELEVATION 4  
SCALE 1:100 @ A3

No.	AMENDMENT DESCRIPTION	DATE
	ISSUED FOR TENDER	24.04.2014

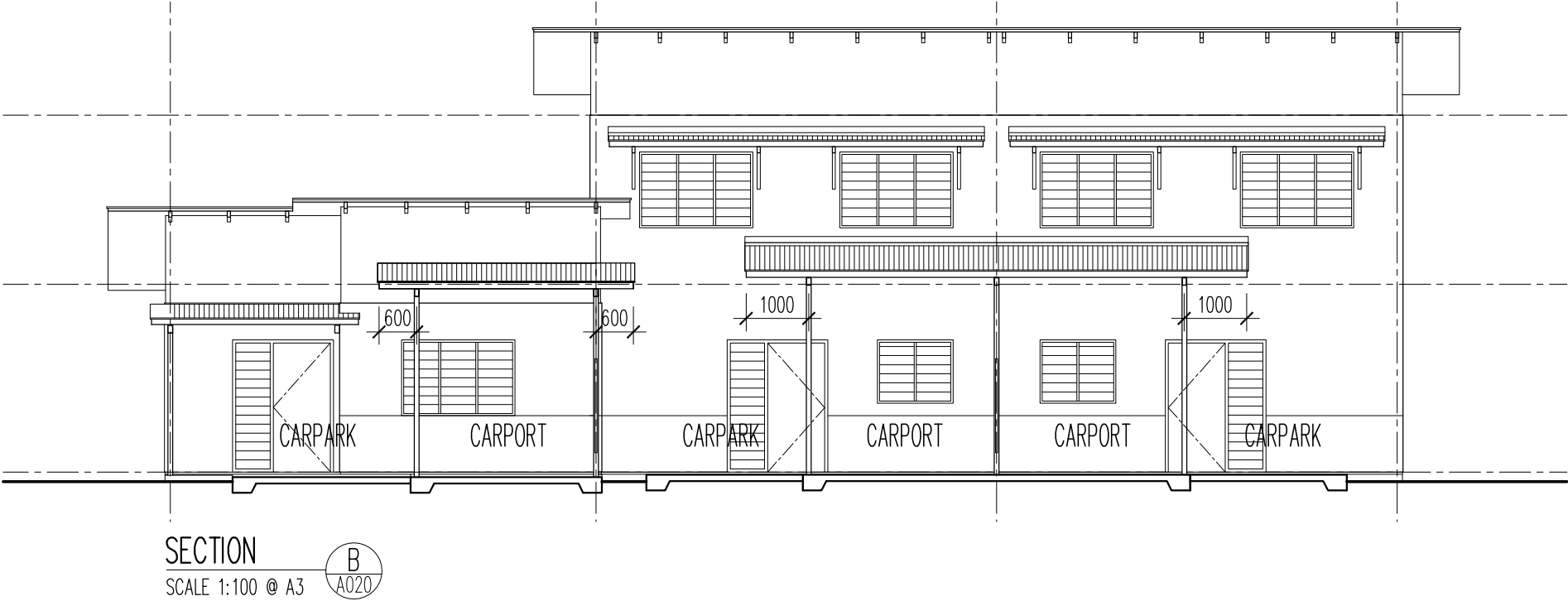
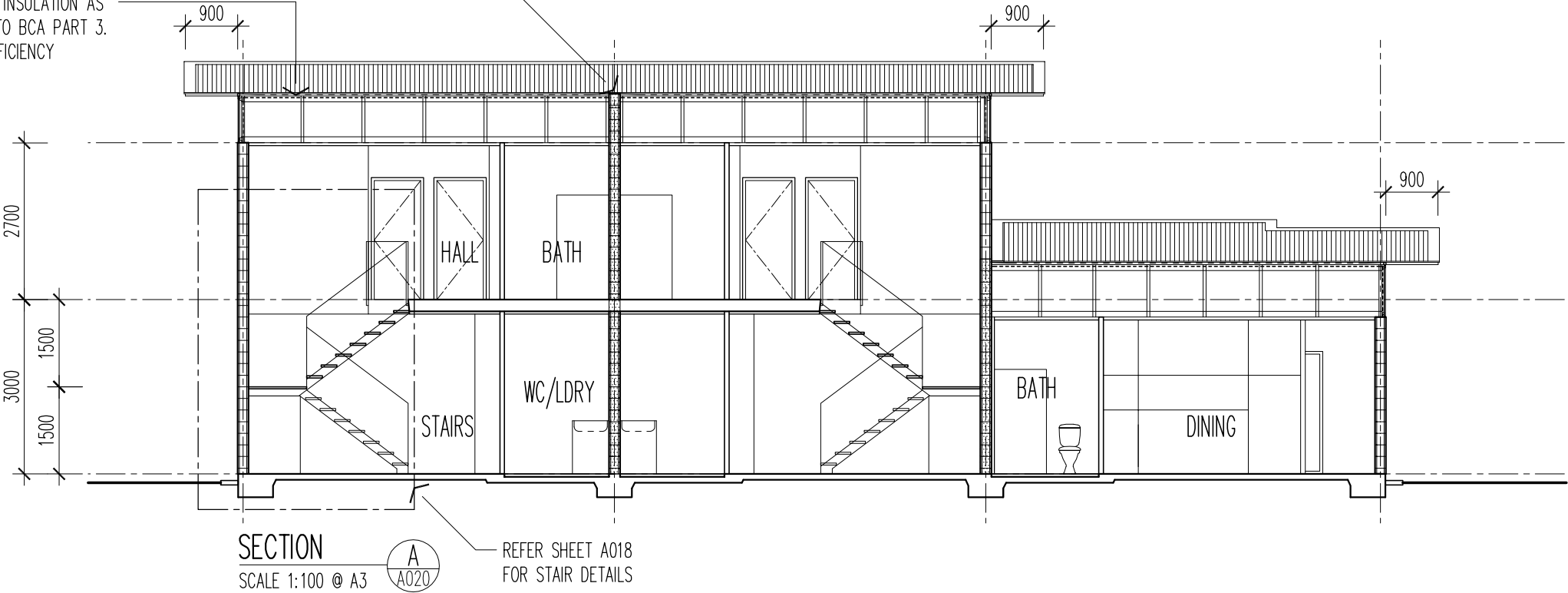
plattconsultants

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
ELEVATION 3 AND 4

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A024 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	



PARTY WALL BATTS TO TOP  
OF FIRE RATED WALL  
EXTENT OF INSULATION AS  
REQUIRED TO BCA PART 3.  
ENERGY EFFICIENCY



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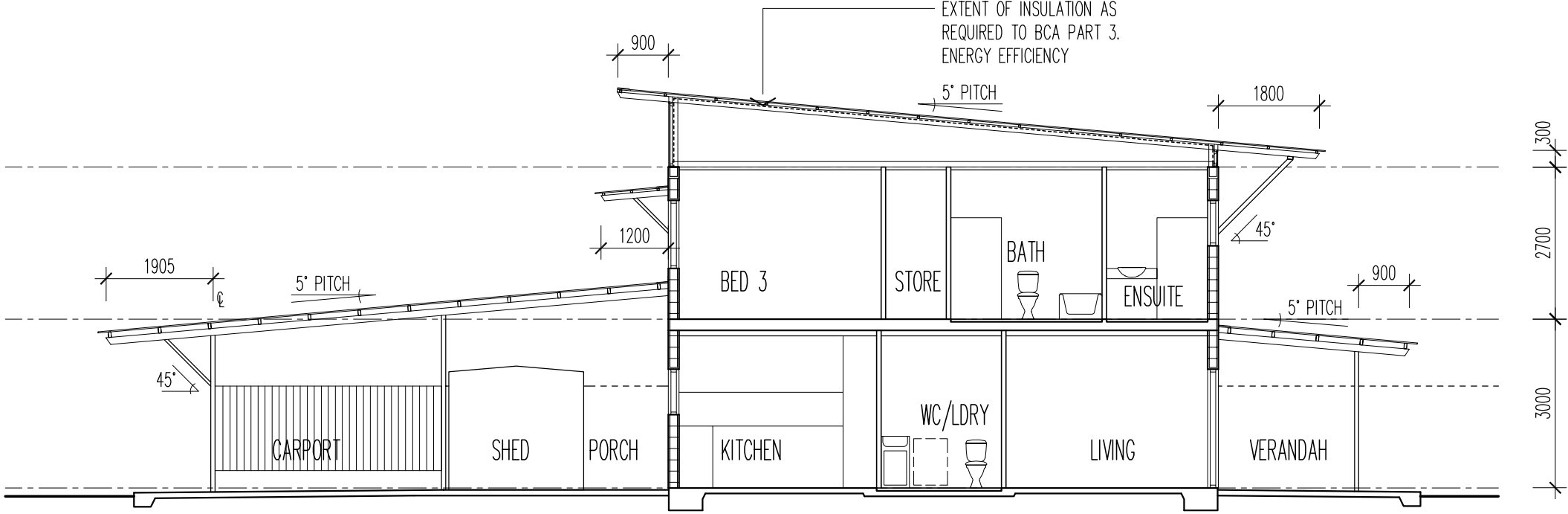
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	ISSUED FOR TENDER	24.04.2014

plattconsultants

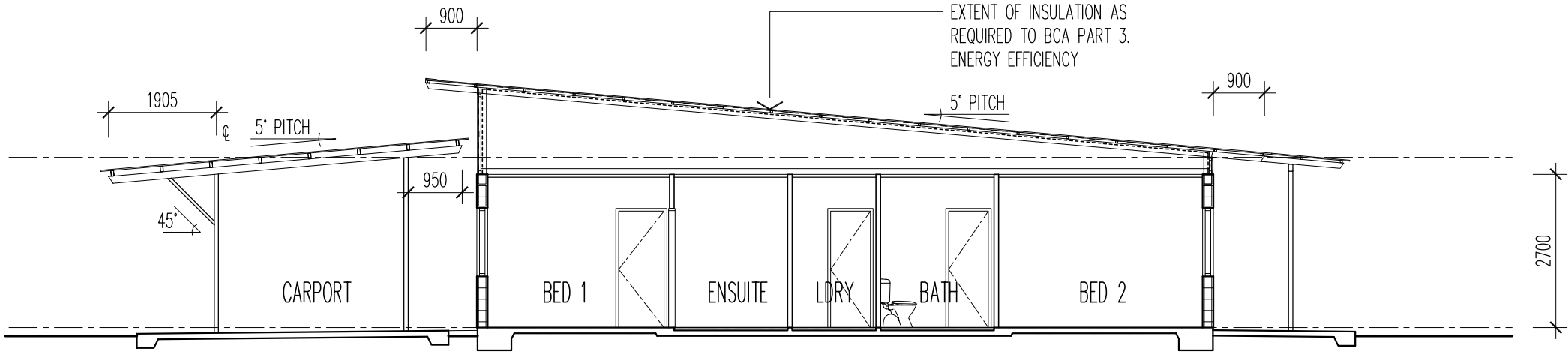
PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON  
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
SECTION A-A AND B-B

FOR TENDER				
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14	A3
Sheet No. A025 OF 28	Project No. 14.05	Scale AS SHOWN	Rev	






SECTION C  
SCALE 1:100 @ A3



SECTION D  
SCALE 1:100 @ A3

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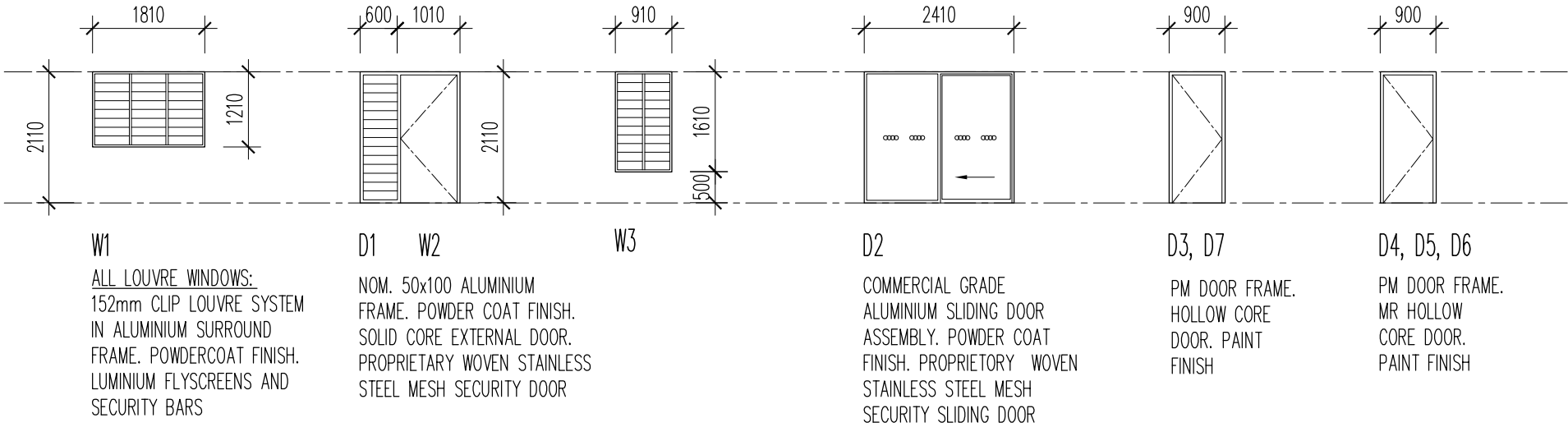
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	ISSUED FOR TENDER	24.04.2014



PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 8955, PALMERSTON

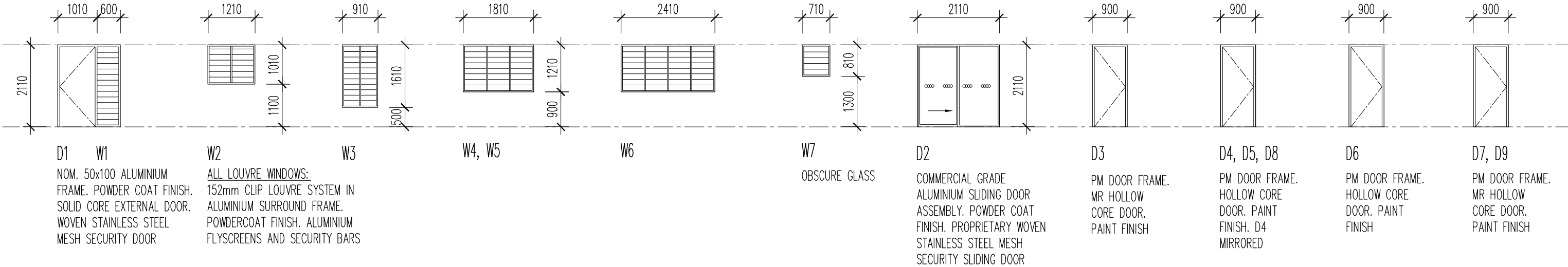
1 VILLA AND 2 TOWN HOUSES, U13, U14 AND U15 MIRRORED  
SECTION C-C AND D-D

FOR TENDER			
Drawn CAD-e	Designed LPC	Checked -	Date MARCH 14
Sheet No. A026 OF 28	Project No. 14.05	Scale AS SHOWN	Rev A3



WINDOW AND DOOR SCHEDULE U6. U15 MIRRORED

SCALE 1:100 @A3  
ALL ALUMINIUM FRAMED WINDOWS AND DOORS, INCLUDING FRAMES AND FIXINGS TO BE CERTIFIED BY  
A STRUCTURAL ENGINEER AND SHALL BE IN ACCORDANCE WITH AS 1288, AS 2047 AND AS 2048.



WINDOW AND DOOR SCHEDULE U8 AND U13. U7 AND U14 MIRRORED

SCALE 1:100 @A3  
ALL ALUMINIUM FRAMED WINDOWS AND DOORS, INCLUDING FRAMES AND FIXINGS TO BE CERTIFIED BY  
A STRUCTURAL ENGINEER AND SHALL BE IN ACCORDANCE WITH AS 1288, AS 2047 AND AS 2048.

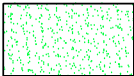
PELMET BOARD. TYPICAL TO ALL WINDOWS  
AND SLIDING GLASS DOORS. 19x90 HW.  
EXTEND 150 BOTH SIDES OF WINDOW.  
CONCEALED FIXING

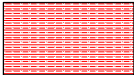
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No.		AMENDMENT DESCRIPTION	DATE		FOR TENDER				
ISSUED FOR TENDER		24.04.2014	PROPOSED RESIDENTIAL DEVELOPMENT LOT 8955, PALMERSTON						
			1 VILLA AND 2 TOWN HOUSES WINDOW AND DOOR SCHEDULE						
Drawn CAD-e			Designed LPC	Checked -	Date MARCH 14	A3			
Sheet No. A027 OF 28			Project No. 14.05	Scale AS SHOWN	Rev				

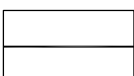



LEGEND

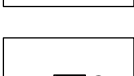
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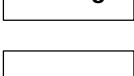
GRASSING - 960M2  
CULTIVATE AREA TO BE GRASSED AND SPREAD  
TOPSOIL 100MM DEEP
- 


ROCK MULCH IN GARDEN BEDS and COURTYARDS 75MM DEEP - 350M2  
7-10MM DIAMETER - 'Hayes Creek Gold'
- 


CONCRETE MOWING STRIP - 230 lineal metres  
TO FINISH FLUSH WITH ADJACENT PAVEMENTS
- 

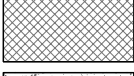
FENCE - REFER ARCHITECTURE DRAWINGS
- 


AG. DRAINAGE PIPE LINKED TO STORMWATER  
REFER ENGINEERING DRAWINGS
- 

SEATING BY STREET FURNITURE AUSTRALIA CMG 102 GALLERIA 3 SEATER  
SURFACE MOUNTED TO CONCRETE HARDSTAND 1100 X 1950MM
- 

PORCELLANITE STONE BOWL 600X600X300MM SET INTO PLANTING BED  
PLACED ON A LOW STONE PILLAR 400MM HIGH
- 


STEPPING CONCRETE STONES 600 X 600
- 


FENCING OFFSET FROM BOUNDARY  
SCREENED WITH PLANTING
- 


PAVING TO PRIVATE COURTYARD AREAS and DRIVEWAYS  
CONCRETE TYPE 2 CCS Paperbark COLOURED CONCRETE
- 


PAVING TO PATHWAYS - EXPOSED AGGREGATE  
CONCRETE TYPE 1 CCS Paperbark with aggregate  
PLANTING BED COULD BE SLOPED  
TO TAKE UP CHANGE IN LEVEL


PLANT PALETTE

- 

SMALL TREE PLANTINGS - PLUMERIA rubra
- 

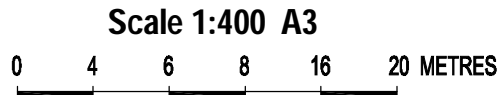
MEDIUM TREE PLANTINGS - SYZYGIIUM armstrongii AND  
MIMUSOPS elengi
- 

TALL PALM PLANTINGS - LIVISTONA rigida
- 

TALL NARROW TREE PLANTINGS - POLYALTHEA LONGIFOLIA 'Pendula'
- 

MASS PLANTING OF CLUMPING PALMS, SHRUBS AND GROUNDCOVERS (Total 1050)  
CLUMPING PALMS - GOLDEN CANE  
SHRUBS - HIBISCUS, MURRAYA, IXORA, CORDYLINE AND DILLENNIA  
GROUNDCOVERS - DIANELLA, HYMENOCALLIS, LOMANDRA AND GARDENIA

REFER CIVIL DRAWINGS FOR LOCATIONS OF CONDUIT FOR IRRIGATION PIPES  
FOREST MULCH IN GARDEN BEDS 100MM DEEP - 1050M2



NB: Refer master services plans prior to commencing work.  
Exact locations to be proven on site prior to any landscape work commencing.



No.		AMENDMENT DESCRIPTION	DATE	THE LANDSCAPE STUDIO E karen_johnson@dodo.com.au M 0408 329693	LOT 8955 PALMERSTON PROPOSED RESIDENTIAL DEVELOPMENT  LANDSCAPE PLAN					
-	60% LANDSCAPE PLAN	22 April 2012	Drawn KJ			Designed KJ	Checked	Date 16.4.2014	A3	
	30% LANDSCAPE PLAN	4 April 2012	Sheet No. OF			Project No.	Scale AS SHOWN	Rev		



# QS SERVICES

QUANTITY SURVEYORS & COST CONSULTANTS

5 Whitfield Street Darwin  
 Postal Address:  
 GPO Box 4009  
 Darwin NT 001  
 Telephone : (08) 8941 0116  
 Facsimile: (08) 8941 0864  
 Email: info@qsservices.com.au  
 www.qsservices.com.au

26 March 2014

The Consultants  
 Thinc Projects Australia  
 GPO Box 4695  
**DARWIN NT 0801**

Attention : Messrs. Neck and Karvonen

Dear Sirs,

**Re : Proposed 15 Townhouse Development for City of Palmerston  
 Lot 8955 (5) Birripa Court Rosebery**

Further to your instructions, we have reviewed the previously prepared estimate and our finding is attached, summarised below.

Description	Variance	RLB	QSS
End Construction Cost	-487,013.00	4,215,087.00	4,702,100.00
Consultant's Fees and Charges	-71,676.00	304,492.00	376,168.00
DSEP and WASSEP Fees <i># confirm</i>	14,900.00	37,400.00	22,500.00
Sub-Total	-543,789.00	4,556,979.00	5,100,768.00
GST	-62,907.80	447,169.00	510,076.80
NT Build Levy	-594.30	14,708.00	15,302.30
Land Cost	0.00	1,300,000.00	1,300,000.00
<b>Total Cost including GST</b>	<b>-607,291.10</b>	<b>\$6,318,856.00</b>	<b>\$6,926,147.10</b> <i>*</i>

Please note that there is an arithmetic error of \$100,000.00 in the estimate reviewed.

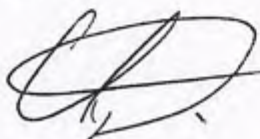
We have assumed commencement in May 2014 and a construction time of seven (7) months by a small sized contractor with the project being competitively tendered on a novated delivery method where the contractor can have an influence over detailing solutions and buildability matters.

The addition cost to design Unit 5 as an accesible unit is of the order of \$16,830.0 plus GST.

This estimate has been based on a preliminary architectural drawing, without engineering advice and should be regarded as being indicative as many architectural and engineering design factors influence the final cost as well as conditions found on site, season of the year when construction is undertaken and market conditions at the time the project is to be procured.

We trust that the above and attached is suitable for your present needs and please feel free to contact the under signed should you wish to discuss this.

Yours faithfully,  
**QS Services**



Charles H. Wright  
 AAIQS ICECA

## THINC PROJECT AUSTRALIA

Prepared : 26 March 2014

PROPOSED 15 TOWNHOUSE DEVELOPMENT  
LOT 8955 BIRRIPIA COURT ROSEBERYPrepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

## REVIEW OF RLB ESTIMATE

Ref.	Description	Unit	Qty	Rate	Sub-total	Total
<b><u>Generally</u></b>						
a	RLB's quantities adopted					Note
<b><u>2 Bed Single Townhouse</u></b>						
a	Concrete paving	m2	191	106.00	20,246.00	
b	Base Building FECA	m2	560	1,450.00	812,000.00	
c	Base Building UCA	m2	191	375.00	71,625.00	903,871.00
<b><u>3 Bed Double Storey Townhouse</u></b>						
a	Concrete paving	m2	241	106.00	25,546.00	
b	Base Building FECA	m2	960	1,450.00	1,392,000.00	
c	Base Building UCA	m2	241	375.00	90,375.00	1,507,921.00
<b><u>External Works</u></b>						
<b><u>Groundworks</u></b>						
a	Site clearing	m2	4,650	3.00	13,950.00	
b	Minor cut and fill	m2	2,574	20.00	51,480.00	65,430.00
<b><u>Concrete Items</u></b>						
a	Exposed concrete paving	m2	166	110.00	18,260.00	
b	Concrete kerb	m2	202	55.00	11,110.00	
c	Concrete crossover	m2	190	90.00	17,100.00	
d	Wheel stops	no	17	100.00	1,700.00	
e	Concrete drive	m2	101	90.00	9,090.00	
f	Concrete crossover from main road	m2	6	250.00	1,500.00	58,760.00
<b><u>Masonry</u></b>						
a	1800 high blockwall	m2	66	343.00	22,638.00	22,638.00
<b><u>Metalwork</u></b>						
a	Road sign	item	1	2,000.00	2,000.00	
b	1800 high good neighbour fence	m	241	225.00	54,225.00	
c	900 wide matching gate	no	12	650.00	7,800.00	
d	1800 timber slatted fence	m	107	250.00	26,750.00	
e	1800 chain mesh fence	m	144	85.00	12,240.00	
f	Remove existing fence	m	128	10.00	1,280.00	
g	Entrance gate excluded				Note	
h	1800 x 1800 high good neighbour gate	no	1	1,200.00	1,200.00	105,495.00
<b><u>Plaster and Render</u></b>						
a	Render to block fence	m2	131	30.00	3,930.00	3,930.00
<b><u>Painting</u></b>						
a	Visitor letter	no	6	150.00	900.00	
b	Carport number	no	50	400.00	20,000.00	
c	Direction arrows	no	130	400.00	52,000.00	
d	Pain to render wall	m2	131	25.00	3,275.00	76,175.00
<b><u>Hydraulics</u></b>						
a	Sewer drainage and connection	item	1	70,000.00	70,000.00	
b	External water main and connection	item	1	30,000.00	30,000.00	
c	Fire booster assembly	item	1	20,000.00	20,000.00	
d	Fire hydrant and hose reel	item	2	2,500.00	5,000.00	125,000.00



## THINC PROJECT AUSTRALIA

Prepared : 26 March 2014

PROPOSED 15 TOWNHOUSE DEVELOPMENT  
LOT 8955 BIRRIPIA COURT ROSEBERYPrepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

## REVIEW OF RLB ESTIMATE

Ref.	Description	Unit	Qty	Rate	Sub-total	Total
<u>Stormwater Drainage</u>						
a	Allowance for stormwater drainage	item	1	60,000.00	60,000.00	60,000.00
<u>Electrical Services</u>						
a	External power and lighting	item	1	110,000.00	110,000.00	
b	Lighting to BBQ	m2	84	40.00	3,360.00	
c	External comms and connection	item	1	30,000.00	30,000.00	143,360.00
<u>Exterior Elements</u>						
a	Bitumen road	m2	685	90.00	61,650.00	
b	Concrete footpath	m2	429	80.00	34,320.00	
c	Feature paving	m2	235	110.00	25,850.00	
d	Concrete paving	m2	84	100.00	8,400.00	
e	Concrete paving to bin enclosure	m2	89	100.00	8,900.00	
f	Landscaping	m2	60	150.00	9,000.00	
g	Trees	no	21	850.00	17,850.00	
h	General landscaping	m2	1,002	40.00	40,080.00	
j	Sand pit/play equipment	item	1	30,000.00	20,000.00	
k	Sports equipment	item	1	15,000.00	15,000.00	
l	BBQ equipment	item	1	8,000.00	8,000.00	
m	External table and chairs	item	1	5,000.00	5,000.00	254,050.00
<u>Carports</u>						
a	Carport and ground slab UCA	m2	271	325.00	88,075.00	88,075.00
<u>Garages</u>						
a	Garages FECA	m2	232	1,050.00	243,600.00	
b	Roller shutter	no	14	2,200.00	30,800.00	274,400.00

## SUMMARY

	Net Total		3,689,105.00
a	Preliminaries	8.00%	295,129.00
	Sub - Total		3,984,234.00
b	Builder's Margin	5.00%	199,212.00
	Sub - Total		4,183,446.00
c	Contingency	10.00%	418,345.00
	Sub-Total		4,601,791.00
d	Escalation - To Commencement May 2014		46,018.00
e	Escalation - 7 Month Construction Period	2.18%	54,291.00
	Total Building Cost Excluding GST		\$4,702,100.00
f	GST	0.00%	Excl.
	Total Building Cost Excluding GST		\$4,702,100.00

Rate per square metre (excluding GST):

Fully Enclosed Covered Area (FECA)	m2	1,752	\$2,683.85 /m2 Excluding GST
Unenclosed Covered Area (UCA)	m2	702	
Gross Building Area (GBA)	m2	2,454	\$1,916.10 /m2 Excluding GST



ADVICE+ACTION

DRAFT

**THiNC**

**City of Palmerston**

**Residential Development @ Lot  
8955 Palmerston**

**Cost Report**

**24 April 2014**

## CONTENTS

1.0	EXECUTIVE SUMMARY	2
2.0	COST ASSESSMENT	3
3.0	VALUE MANAGEMENT	4
4.0	VALUE MANAGEMENT OPTIONS	6



## EXECUTIVE SUMMARY

The City of Palmerston (CoP) is the owner of 5 Birripa Court (allotment 8955) Rosebery, Palmerston and intends to develop a 15 unit residential complex on the site. CoP has developed the initial design concepts and has obtained consent from the Development Consent Authority (DCA) for the development.

CoP has entered into an agreement with the NT Department of Housing (NTDH) where-in they will develop and own the residential unit complex then lease the improvements for 10 years to the Chief Executive Officer (Housing) under the Real Housing for Growth initiative. The Real Housing for Growth head leasing initiative allows the Northern Territory Government to rent dwellings to eligible residents at 30% below market rent.

The proposed development includes:

- 15 Units
  - 7 x 2 bedroom 1 storey villas
  - 8 x 3 bedroom 2 storey townhouses
- Carparking
  - 30 x residential car park bays
- Facilities
  - Waste storage area
  - Community garden
  - Recreation green zone
- Site civil works / headwork's, landscaping, fencing and site improvements

An initial concept design was produced for the development from which a project budget (\$5 Million) was determined based on square meter rates. The 30% cost assessment which has now been completed by the engaged Quantity Surveyor (QS) indicates that the project budget, based on the concept design, was lean. The engaged design team has progressed the detailed design that has assisted refinement of the cost assessment. Various scope and design management techniques were employed to further reduce development costs. The current 30% cost assessment is approximately 15% over the current \$5 Million target budget.

This report provides details on the current 30% costs assessment identifying the key cost drivers for the project. The report also outlines the value management initiatives employed by the design team to date and possible options for consideration to reduce the current cost assessment.

## COST ASSESSMENT

The engaged QS has produced the 30% schematic design cost assessment that is currently \$826,700 over budget. The Assessment includes the following;

- Construction of the 7 x 2 Bedroom 1 Storey Villas,
- Construction of the 8 x 3 Bedroom 2 Storey Townhouses,
- Associated external works including pavements, retaining walls, landscaping and site improvements,
- Project Contingency,
- Consultants fees and charges,
- DSEP & WASSEP Fees, and
- GST

The original project budget was based on the concept design and square metre rates provided to the concepts design team before design development commenced. The current assessment produced by the engaged QS has been based on the 30% design including measurement of proposed value management elements.

There are a number of key items that are primary development objectives, these items influence cost but cannot be dramatically altered or removed. This items are as follows ;

- The number of units (15) in the original concept to remain and floor areas to be in accordance with specification,
- 30 car spaces to be provided,
- Public Open Space (POS) required for residents,
- Upper medium quality finishes commensurate with the target market and specification, and
- Site constraints such as site topography, registered easements and planning conditions.

## VALUE MANAGEMENT

The City of Palmerston engaged a design team to undertake design development to 60% before tendering to the market place under a design and construct procurement methodology. The remaining 40% of design to be completed by the nominated contractor and novated design team to CoP's endorsement. During March and April 2014 the design team has progressed the initial concepts. The engaged QS has completed a cost assessment for on near 60% design accomplishment. The following value management and design efficiencies were implemented during design development and prior to the completion of the cost assessment.

- Standardisation for the design of the Villas and Townhouses. Now includes one type for the Villas and one type for the Townhouses compared to the original concept design which contained two designs for each dwelling type. This has gained efficiencies in repetitive design.
- Deletion of various splayed walls to units which would have contributed to non standardised units and higher costs.
- The roofs have been designed as simple skillion structures discharging water onto the ground surfaces from where roof water will gravity drain / disburse at grade.
- Adjacent units have been planned to utilise wet areas back to back where possible to reduce service costs and to minimise the need for extensive acoustic treatment between units.
- Resited Villas 1 – 5 to align with the direction of the contours to reduce cut and fill and the need for retaining walls, extensive drainage etc.
- The new orientation for Villas 1 – 5 has additional cost reduction benefits including:
  - Delete approximately 180 sq m of steep internal access road
  - Delete steep driveways (in the order of 0.5 m) up to each Villa which would otherwise require retaining walls and drainage
  - Extensive site works would have been required for the original location and in particular the external private open space (POS). The POS was originally located on a steep electrical easement, requiring extensive retaining walls and drainage.
  - Structures across the easement would have been required to be elevated and cantilevered over the easement which is an expensive option.
- Reviewed and rationalised the areas of the Villas (now 77 sq m) and Townhouses (now 117 sq m) resulting in a nett saving of 3 sq m per unit = 45 sq m total nett area without loss of amenity.
- Reduction of wet areas where possible as well as standardising the design of ensuites, bathrooms and sundry spaces to encourage standardisation of fixture and fittings.
- Deleted all external glazed bi-fold doors and substituted standard commercial grade sliding doors.
- Areas of tiling have been reduced to the minimum standard; tiles are not full height to ceilings throughout ensuites and bathrooms.
- Standardised built in joinery items where possible including wardrobes, vanities, kitchen cabinetry etc.
- Provided proprietary storage sheds in lieu of custom built structures.
- Although the successful Contractor may vary the structure, the defined structure is used frequently throughout the Top End for similar projects, this being:
  - Load bearing reinforced block walls
  - Suspended concrete floor slabs

## VALUE MANAGEMENT

- Steel roof trusses (without valleys, hips and the like)
- The nominated finishes are hard wearing standard materials commonly used throughout the Top End for similar projects, this being:
  - External block walls finished with "Quickwall"
  - Custom orb roof decking material
  - Internal plastered and painted block walls
  - Ceramic floor tiles throughout
- Joinery constructed from standard proprietary laminate products
- Standard, good quality, Australian made fixtures and fittings
- Parking has been re aligned to suit carports in lieu of garages.
- Toilet exhaust fans combined with light switch
- Balconies have been removed from townhouses
- Louvered windows with aluminium fly screen and security bars has been specified where Crimsafe is not required

## VALUE MANAGEMENT OPTIONS

After receiving the 30% cost assessment, the design team has worked through additional value management options that could further reduce construction cost. These options identified are as follows, however Northern Territory Housing will need to provide approval for any items that are outside their specification:

- Substitute electric hot water systems in lieu of heat pumps
- Use of Quik-wall for internal wall coverings in lieu of batten and plasterboards
- Substitute battens and plasterboard ceilings for plaster and painted ceilings to 1st floor townhouses. This approach can also be applied to the internal walls.
- Reduce GPO outlets in bedrooms to 2 No.
- Delete dining A/C, increase capacity of lounge A/C and reposition slightly for better coverage
- Substitute Independent motion sensor in carport area for combined floodlight and sensor
- Delete storage under stairs
- Substitute shower enclosures for a rail and shower curtain
- Substitute hotplate and oven for combined oven and hotplate unit
- Blockwork external and partitioned walls could be reduced to 150 series (currently documented as 200 series). This is not standard practice in Darwin, increases difficulty in corefilling and would change architectural internal layout (positively). However there would be cost saving. Fire-rating of 150 series block to be confirmed.
- Walls above suspended floor could be lightweight steel framed as opposed to blockwork. Fire rating between units would need to be considered and fire rated plasterboard used.
- Trusses to be changed to lightweight steel construction
- Suspended floors could be changed from reinforced concrete to lightweight steel framing. Joists would typically be at 450 centres such that ceiling could be direct fixed to underside of joists.
- Potential reduction of 10% (Buildings) and 12% (External Works) construction contingencies for a design and construct project.

Decisions were made through design to curtail costs referring to the value management techniques employed above. Changes to smaller items throughout the building are unlikely to be extensive enough to reduce the cost per building to reach the project budget of \$5 Million. A reduction in scope (i.e. reduction to unit numbers) could be made to reach the concept budget however this will reduce the development site lands potential for the City of Palmerston.

Upon selection of the contractor, the majority of the consultants will be novated across onto the contractor's control (D&C Contract) to finalise the design. The contractor is able to become a participant of the solution for further reducing current budget overrun. The 40% detailed design resolution under the selected contractor's responsibility should allow adoption of the contractor's construction systems and buildability techniques to further assist cost reduction value management without substantial compromises to the original design intent.

22nd April 2014  
Revised 24th April 2014

Senior Consultant  
THINC Projects Australia  
GPO Box 4695  
**DARWIN NT 0801**

Attention : Mr. Zac Neck

Dear Sir,

**Re:- Proposed Residential Development at Lot 8955 Birripa Court, Palmerston**

As requested, please find attached our 30% Design Review Estimate for the above project summarised below.

<b>Description</b>	<b>Cost \$</b>
End Construction Cost 5 No Villas	\$1,097,000.00
End Construction Cost 4 No Townhouses	\$1,217,000.00
End Construction Cost 4 No Townhouses & 2 No Villas	\$1,752,000.00
End Construction Cost External Works	\$877,000.00
Sub-total End Construction Cost	\$4,943,000.00
Project Contingency	Excl.
Consultants Fees and Charges	\$300,000.00
DSEP and WASSEP Fees	\$54,000.00
GST	\$529,700.00
Total Construction Cost Including GST	\$5,826,700.00
NT Build Levy	\$17,500.00
Land Cost	\$1,300,000.00
<b>Total End Cost Excluding GST</b>	<b>\$7,144,200.00</b>

We have assumed commencement in June 2014 and a construction time of seven (7) months by a small to size contractor with the project being competitively tendered on a design and construct basis.

The estimate has been based on 'upper medium' quality finishes commensurate with the target market.

This estimate has been based on a preliminary architectural drawing, without engineering advice and should be regarded as being indicative as many architectural and engineering design factors influence the final cost as well as conditions found on site, season of the year when construction is undertaken and market conditions at the time the project is to be procured.

We trust that the above and attached is suitable for your present needs and please feel free to contact the undersigned should you wish to discuss this.

Yours faithfully,  
**QS Services**



Charles H. Wright  
AAIQS ICECA

**PROPOSED COP RESIDENTIAL DEVELOPMENT**  
**LOT 8955 BIRRIPIA COURT PALMERSTON**

Prepared by : **QS Services**  
*Quantity Surveyors and Cost Consultants*

**30% DESIGN REVIEW ESTIMATE: 5 No. VILLAS - UNITS 1 - 5**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<b><u>Groundwork's</u></b>						
a	Compact sub-grade	m2	600	3.00	1,800.00	
b	Select fill to building pad	m3	90	40.00	3,600.00	
c	Compaction surface of fill to 95% MMDD	m2	600	3.00	1,800.00	
d	Excavate edge beams & thickenings	m3	119	35.00	4,165.00	
e	Ditto for bored piers	m3	12	60.00	720.00	
f	Disposal of excavated material	m3	131	10.00	1,310.00	
g	50mm sand bed	m2	600	4.00	2,400.00	
h	Damp proof membrane	m2	690	4.00	2,760.00	
j	300 x 75 concrete mowing strip	m	61	30.00	1,830.00	
k	Termite hand spray	m2	690	10.00	6,900.00	
l	Termite irrigation system	m	110	10.00	1,100.00	28,385.00
<b><u>Concrete work</u></b>						
<b><u>25Mpa concrete:</u></b>						
a	100 Concrete slab on ground including edge beams & thickenings	m3	167	248.00	41,416.00	
b	Concrete to bored piers	m3	12	265.00	3,180.00	
<b><u>Finishes etc.</u></b>						
a	Steel float finish to slabs	m2	406	16.00	6,496.00	
b	Wood float finish to paving	m2	195	16.00	3,120.00	
<b><u>Formwork</u></b>						
a	To side of edge beam or thickening	m2	144	70.00	10,080.00	
b	To sides of set downs not exceeding 50mm high	m	100	15.00	1,500.00	
<b><u>Reinforcement</u></b>						
<b><u>Bars</u></b>						
a	N12 starter bars	t	0.29	2,300.00	667.00	
b	N16 Bar	t	1.92	2,300.00	4,416.00	
c	R10 ligs	t	0.34	2,300.00	782.00	
<b><u>Mesh</u></b>						
a	SL72 mesh reinforcement	m2	195	15.00	2,925.00	
b	SL92 mesh reinforcement	m2	406	18.00	7,308.00	
c	4LTM trench mesh	m	176	12.00	2,112.00	
d	Concrete pump	m3	178	30.00	5,340.00	
e	Testing of concrete	m3	167	15.00	2,505.00	
f	Curing of concrete	m2	600	2.00	1,200.00	93,047.00
<b><u>Masonry</u></b>						
a	200 Series external masonry block walls	m2	468	77.00	36,036.00	
b	EO for bond beams	m	314	2.50	785.00	
c	EO for raking bond beams incl. cutting	m	56	35.00	1,960.00	
d	EO for lintel beams	m	45	15.00	675.00	
e	EO for sills	m	20	21.00	420.00	
f	EO for sill beams	m	20	2.50	50.00	
g	EO for clean out blocks	no	262	1.50	393.00	
h	N12 Reinforcing bar	t	1.97	2,200.00	4,334.00	
j	Core fill	m3	18	263.00	4,734.00	
k	Masonry block control joints	m	38	35.00	1,330.00	50,717.00
<b><u>Steelwork</u></b>						
a	C1:- Columns 75 x 75 x 4.0 SHS	t	0.66	6,000.00	3,960.00	
b	B1:- Beams 125 x 75 x 4.0 RHS	t	0.39	6,000.00	2,340.00	
c	R1:- Rafters 125 x 75 x 4.0 RHS	t	0.88	6,000.00	5,280.00	
d	P1:- Purlins 100 x 50 x 2.5 RHS	t	1.10	6,000.00	6,600.00	
e	Attached connections	t	0.46	7,000.00	3,220.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPA COURT PALMERSTON**

Prepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: 5 No. VILLAS - UNITS 1 - 5**

Ref.	Description	Unit	Qty	Rate	Extension	Total
f	Shop drawings	t	3.48	500.00	1,740.00	
g	Fall arrest equipment	m	98	15.00	1,470.00	
h	Scaffolding	item	1	Incl.	Incl.	24,610.00
<b><u>Metalwork</u></b>						
a	75 x 1.2 Internal metal wall framing	m2	308	72.00	22,176.00	22,176.00
<b><u>Woodwork</u></b>						
a	Prefabricated roof trusses, fascia and roof battens	m2	600	105.00	63,000.00	63,000.00
<b><u>Hardware</u></b>						
a	External door locks	no	5	200.00	1,000.00	
b	Internal door locks	no	15	120.00	1,800.00	
c	Privacy door locks	no	10	130.00	1,300.00	
d	Raven RP4T door seal	no	5	60.00	300.00	
e	Toilet roll holders	no	10	75.00	750.00	
f	Soap dish	no	10	35.00	350.00	
g	Towel rails	no	10	95.00	950.00	6,450.00
<b><u>Roof &amp; Wall Cladding</u></b>						
a	Colorbond Custom Orb roof sheeting installed with Class 4 screws	m2	537	50.00	26,850.00	
b	Ditto to Carport	m2	127	50.00	6,350.00	
c	Ditto to awning	m2	34	50.00	1,700.00	
<b><u>Flashings</u></b>						
a	Colorbond barge capping	m	94	40.00	3,760.00	
b	Ditto apron flashing	m	27	40.00	1,080.00	
<b><u>Wall Cladding</u></b>						
a	Colorbond Custom Orb external wall cladding fixed to metal wall framing including trims	m2	76	60.00	4,560.00	
b	Colorbond Custom Orb gable end wall cladding fixed to metal wall framing including trims	m2	26	60.00	1,560.00	
c	Colorbond Custom Orb wall cladding on & including top hat battens fixed to masonry block walls including trims	m2	38	90.00	3,420.00	
<b><u>Insulation</u></b>						
a	HD sisalation	m2	698	5.00	3,490.00	
b	R2.5 foiled backed insulation blanket	m2	537	18.00	9,666.00	
c	Galv safety mesh	m2	537	3.00	1,611.00	
d	Air-cell Insulbreak 65 batts under wall cladding	m2	140	12.00	1,680.00	65,727.00
<b><u>Windows &amp; Glazing</u></b>						
<b><u>Powdercoated aluminium framed clear glazed louvre windows to the following</u></b>						
a	Window size 1.81w x 1.20h	no	5	913.00	4,565.00	
b	Ditto 1.51w x 1.20h	no	5	762.00	3,810.00	
c	Ditto 0.61w x 2.10h	no	5	539.00	2,695.00	
<b><u>Powdercoated aluminium framed clear glazed sliding door</u></b>						
a	Door size 2.41w x 2.11h	no	5	3,051.00	15,255.00	
<b><u>Mirrors &amp; Shower Screens</u></b>						
a	0.60 wide x 0.90 high mirror	no	10	226.00	2,260.00	
b	Glazed shower screen with glazed door	no	10	650.00	6,500.00	



**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPA COURT PALMERSTON**

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Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: 5 No. VILLAS - UNITS 1 - 5**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<u>Security Screens</u>						
a	EO for aluminium fly screens to windows	m2	20	90.00	1,800.00	
b	Crimsafe security screen doors	no	10	1,165.00	11,650.00	
c	Crimsafe sliding security screen doors	no	5	1,165.00	5,825.00	54,360.00
<u>Doors &amp; Frames</u>						
<u>Solid Core Single External Doors</u>						
a	Door size 0.92w x 2.04h	no	5	310.00	1,550.00	
<u>Solid Core Single Internal Doors</u>						
a	Door size 0.92 x 2.04h	no	25	290.00	7,250.00	
<u>Pressed Metal Single Door Frames</u>						
a	Door size 1.01w x 2.10h	no	30	160.00	4,800.00	13,600.00
<u>Ceiling &amp; Wall Linings</u>						
<u>Ceiling Linings</u>						
a	10mm flush plasterboard ceiling linings on & including battens	m2	322	48.00	15,456.00	
b	10mm flush waterproof plasterboard ceiling linings on & including battens	m2	55	52.00	2,860.00	
c	P50 Shadow trim cornices	m	385	15.00	5,775.00	
<u>Wall Linings</u>						
a	10 flush plasterboard wall linings	m2	616	35.00	21,560.00	45,651.00
<u>Floor &amp; Wall Finishes</u>						
a	Ceramic wet area wall tiling	m2	46	80.00	3,680.00	
b	Ditto wet area floor tiling	m2	10	80.00	800.00	
c	Render to internal masonry walls	m2	423	25.00	10,575.00	
d	Ceramic floor tiling	m2	322	80.00	25,760.00	
e	Waterproof membrane to wet area floors	m2	10	25.00	250.00	
f	Waterproof membrane to wet area walls	m2	46	25.00	1,150.00	42,215.00
<u>Joinery</u>						
<u>MR MDF laminated finish to the following:-</u>						
a	5.00m girth x 0.60 wide x 900 high Kitchen bench cupboards	no	5	4,750.00	23,750.00	
b	1.80m long x 0.80 wide x 900 high Kitchen servery bench cupboards	no	5	2,160.00	10,800.00	
c	5.0m girth x 0.30 wide x 0.75 high Kitchen overhead cupboards	no	5	3,250.00	16,250.00	
d	0.60m long x 0.60 wide x 1.20 high Pantry cupboards	no	5	570.00	2,850.00	
e	1.10m long x 0.45 wide vanity bench / cupboards	no	5	715.00	3,575.00	
f	0.90m long x 0.45 wide vanity bench / cupboards	no	5	585.00	2,925.00	
g	1.80m long x 0.60 wide x 2.70 high wardrobe	no	5	1,260.00	6,300.00	
h	2.00m long x 0.60 wide x 2.70 high wardrobe	no	5	1,400.00	7,000.00	73,450.00
<u>Painting</u>						
<u>Prepare and paint the following:-</u>						
a	Quickwall to external walls	m2	423	28.00	11,844.00	
b	Plasterboard ceiling linings	m2	377	13.00	4,901.00	
c	Rendered masonry walls	m2	423	14.00	5,922.00	
d	Plasterboard wall linings	m2	616	13.00	8,008.00	
e	Single timber flush doors	no	30	90.00	2,700.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

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Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: 5 No. VILLAS - UNITS 1 - 5**

Ref.	Description	Unit	Qty	Rate	Extension	Total
f	Single PM door frames	no	30	45.00	1,350.00	
g	Structural steel	m2	150	20.00	3,000.00	37,725.00
<b><u>Plumbing &amp; Drainage</u></b>						
a	WC suite complete	no	10	850.00	8,500.00	
b	Vanity basins	no	10	650.00	6,500.00	
c	Double bowl stainless steel kitchen sink	no	5	650.00	3,250.00	
d	70 litre laundry trough	no	5	500.00	2,500.00	
<i><u>The Following in taps mixers and valves etc.</u></i>						
a	Shower set comprising Single Lever Recess Set with rose & arm with hand held shower	no	10	650.00	6,500.00	
b	Single lever hand basin mixer tap	no	10	400.00	4,000.00	
c	Single Kitchen Lever Set and spout	no	5	400.00	2,000.00	
d	Single Lever Recess Set and telescopic laundry arm	no	5	310.00	1,550.00	
e	Washing hose cock	no	5	120.00	600.00	
f	Cistern cock	no	10	95.00	950.00	
g	DN20 isolation valve	no	5	120.00	600.00	
h	DN20 tempering valves	no	5	480.00	2,400.00	
j	DN20 expansion control valve	no	5	120.00	600.00	
k	DN20 pressure relief valve	no	5	210.00	1,050.00	
l	DN25 valve in cast iron valve box	no	5	450.00	2,250.00	
m	External hose cocks	no	10	150.00	1,500.00	
<i><u>Sewer connection</u></i>						
a	DN50 in vent pipe	m	30	45.00	1,350.00	
b	DN50 uPVC waste pipe in trench not exceeding 1.0m deep	m	23	45.00	1,035.00	
c	DN50 uPVC S or P traps	no	15	55.00	825.00	
d	DN100 uPVC sewer main in trench not exceeding 1.0m deep	m	138	60.00	8,280.00	
e	DN100 uPVC bends	no	110	45.00	4,950.00	
f	DN100 uPVC junctions	no	35	65.00	2,275.00	
g	DN100 uPVC clean out	no	5	120.00	600.00	
h	DN100 uPVC tundish	no	5	310.00	1,550.00	
j	DN100 uPVC floor wastes	no	15	210.00	3,150.00	
k	Sewer connection	no	5	250.00	1,250.00	
<i><u>Water Supply</u></i>						
a	DN25 PN12 PE100 uPVC water supply pipe in trench	m	44	30.00	1,320.00	
b	DN20 copper water supply in ceiling space including drops	m	127	25.00	3,175.00	
c	DN15 in branches to fixtures	m	122	20.00	2,440.00	
d	Connect to main water line	no	5	200.00	1,000.00	
<i><u>Hot Water</u></i>						
a	Heat pump HWS	no	5	5,300.00	26,500.00	
b	DN20 insulated copper hot water supply pipe in ceiling space	m	126	28.00	3,528.00	
c	DN15 insulated hw in branches	m	74	23.00	1,702.00	
d	BWIC	item	1	2,742.00	2,742.00	112,422.00
<b><u>Electrical Installation</u></b>						
a	Main switchboard / metre box	no	1	2,500.00	2,500.00	
b	Distribution board	no	5	1,200.00	6,000.00	
c	Bench top hot plate	no	5	900.00	4,500.00	
d	Under bench wall oven	no	5	1,200.00	6,000.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

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**30% DESIGN REVIEW ESTIMATE: 5 No. VILLAS - UNITS 1 - 5**

Ref.	Description	Unit	Qty	Rate	Extension	Total
e	Rangehood <u>Light Fittings</u>	no	5	650.00	3,250.00	
a	Ceiling mounted oyster light	no	75	120.00	9,000.00	
b	Weatherproof fluoro light	no	15	150.00	2,250.00	
c	2 x 36 surface mounted waterproof fluoro lights	no	5	180.00	900.00	
d	Movement sensor	no	5	250.00	1,250.00	
e	1400 diam ceiling fans <u>Switches and Power Outlets</u>	no	25	300.00	7,500.00	
a	10 Amp Single GPO	no	20	90.00	1,800.00	
b	10 Amp Double GPO's	no	60	110.00	6,600.00	
c	Waterproof double GPO's	no	10	150.00	1,500.00	
d	Waterproof isolating switch to A/C units	no	15	250.00	3,750.00	
e	32A 240V outlet for stove	no	5	310.00	1,550.00	
f	Mains powered smoke alarm with battery backup	no	10	275.00	2,750.00	
g	Incoming telephone cabling	m	50	40.00	2,000.00	
h	Telephone main distribution frame	no	5	250.00	1,250.00	
j	Television antenna	no	5	550.00	2,750.00	
k	TV points	no	2	150.00	300.00	
l	Communications outlets	no	10	310.00	3,100.00	
m	Direct connection	no	5	500.00	2,500.00	
n	BWIC	item	1	1,825.00	1,825.00	74,825.00
<b><u>Mechanical Installation</u></b>						
a	Split system air conditioning - 1 1/2hp	no	10	2,000.00	20,000.00	
b	Split system air conditioning - 2 1/2hp	no	5	2,700.00	13,500.00	
c	Ducted exhaust system including fans, etc	m	91	150.00	13,650.00	
d	Tundish for A/C units - stainless steel SPS set in wall with vented face etc	no	10	300.00	3,000.00	
e	BWIC	item	1	1,254.00	1,254.00	51,404.00
<b><u>Landscaping</u></b>						
a	Selected landscaping to units including lawns, trees, shrubs, etc	m2	111	40.00	4,440.00	
b	Provision for irrigation	m2	111	25.00	2,775.00	7,215.00

**SUMMARY**

	Net Total		866,979.00
a	Preliminaries	8.00%	69,359.00
	Sub-Total		936,338.00
b	Builder's Margin	5.00%	46,817.00
	Sub-Total		983,155.00
c	Construction Contingency	10.00%	98,316.00
	Sub-Total		1,081,471.00
d	Escalation - To Commencement - say June 2014		8,112.00
e	Escalation - Construction 7 months	1.44%	7,417.00
<b>Total Construction Cost Excluding GST</b>			<b>\$1,097,000.00</b>

Cost per square metre Excluding GST:

Fully Enclosed Covered Area (FECA)	406	\$2,701.97 /m2 Excluding GST
Unenclosed Covered Area (UCA)	195	
Gross Building Area (GBA)	601	\$1,825.29 /m2 Excluding GST

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

Prepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: 4 No. TOWNHOUSES - UNITS 9 - 12**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<b><u>Groundwork's</u></b>						
a	Compact sub-grade	m2	458	3.00	1,374.00	
b	Select fill to building pad	m3	69	40.00	2,760.00	
c	Compaction surface of fill to 95% MMDD	m2	458	3.00	1,374.00	
d	Excavate edge beams & thickenings	m3	79	35.00	2,765.00	
e	Ditto for bored piers	m3	6	60.00	360.00	
f	Disposal of excavated material	m3	84	10.00	840.00	
g	50mm sand bed	m2	458	4.00	1,832.00	
h	Damp proof membrane	m2	527	4.00	2,108.00	
j	300 x 75 concrete mowing strip	m	29	30.00	870.00	
k	Termite hand spray	m2	527	10.00	5,270.00	
l	Termite irrigation system	m	98	10.00	980.00	20,533.00
<b><u>Concrete work</u></b>						
<b><u>25Mpa concrete:</u></b>						
a	100 Concrete slab on ground including edge beams & thickenings	m3	104	248.00	25,792.00	
b	200 Suspended concrete slab including beams	m3	51	231.00	11,781.00	
c	Concrete to bored piers	m3	6	265.00	1,590.00	
<b><u>Finishes etc.</u></b>						
a	Steel float finish to slabs	m2	505	16.00	8,080.00	
b	Wood float finish to paving	m2	205	16.00	3,280.00	
<b><u>Formwork</u></b>						
a	To side of edge beam or thickening	m2	439	70.00	30,730.00	
b	To soffits of suspended slab	m2	253	80.00	20,240.00	
c	To edge of suspended slab n.e. 250mm high	m	72	30.00	2,160.00	
d	To sides of set downs not exceeding 50mm high	m	94	15.00	1,410.00	
<b><u>Reinforcement</u></b>						
<b><u>Bars</u></b>						
a	N12 starter bars	t	0.55	2,300.00	1,265.00	
b	N16 Bar	t	3.57	2,300.00	8,211.00	
c	R10 ligs	t	0.62	2,300.00	1,426.00	
<b><u>Mesh</u></b>						
a	SL72 mesh reinforcement	m2	205	15.00	3,075.00	
b	SL92 mesh reinforcement	m2	758	18.00	13,644.00	
c	4LTM trench mesh	m	79	12.00	948.00	
d	Concrete pump	m3	159	30.00	4,770.00	
e	Testing of concrete	m3	159	15.00	2,385.00	
f	Curing of concrete	m2	710	2.00	1,420.00	142,207.00
<b><u>Masonry</u></b>						
a	200 Series external masonry block walls	m2	593	77.00	45,661.00	
b	EO for bond beams	m	404	2.50	1,010.00	
c	EO for raking bond beams	m	30	35.00	1,050.00	
d	EO for E blocks	m	72	3.00	216.00	
e	EO for lintel beams	m	68	15.00	1,020.00	
f	EO for sills	m	42	21.00	882.00	
g	EO for sill beams	m	68	2.50	170.00	
h	EO for clean out blocks	no	360	1.50	540.00	
j	N12 Reinforcing bar	t	2.77	2,200.00	6,094.00	
k	Core fill	m3	33	263.00	8,679.00	
l	Masonry block control joints	m	66	35.00	2,310.00	67,632.00
<b><u>Steelwork</u></b>						
a	C1:- Columns 75 x 75 x 4.0 SHS	t	0.43	6,000.00	2,580.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT**  
**LOT 8955 BIRRIPA COURT PALMERSTON**

Prepared by : **QS Services**  
*Quantity Surveyors and Cost Consultants*

**30% DESIGN REVIEW ESTIMATE: 4 No. TOWNHOUSES - UNITS 9 - 12**

Ref.	Description	Unit	Qty	Rate	Extension	Total
b	ST1:- Struts 75 x 75 x 4.0 SHS	t	0.15	6,000.00	900.00	
c	R1:- Rafters 125 x 75 x 4.0 RHS	t	1.07	6,000.00	6,420.00	
d	AR:- Awning Rafters 100 x 50 x 3.0 RHS	t	0.13	6,000.00	780.00	
e	P1:- Purlins 100 x 50 x 2.5 RHS	t	1.60	6,000.00	9,600.00	
f	Attached connections	t	0.25	7,000.00	1,750.00	
g	Shop drawings	t	3.60	500.00	1,800.00	
h	Fall arrest equipment	m	79	15.00	1,185.00	
j	Scaffolding	item	1	Incl.	Incl.	25,015.00
<b><u>Metalwork</u></b>						
a	75 x 1.2 Internal metal wall framing	m2	342	72.00	24,624.00	
b	etc.	m/r	154	100.00	15,400.00	
c	DN32 galvanised balustrades	m	68	250.00	17,000.00	
d	Metal framed powdercoated privacy screens	m2	32	275.00	8,800.00	65,824.00
<b><u>Woodwork</u></b>						
a	Prefabricated roof trusses, fascia and roof battens	m2	458	105.00	48,090.00	48,090.00
<b><u>Hardware</u></b>						
a	External door locks	no	4	200.00	800.00	
b	Internal door locks	no	16	120.00	1,920.00	
c	Privacy door locks	no	12	130.00	1,560.00	
d	Raven RP4T door seal	no	4	60.00	240.00	
e	Toilet roll holders	no	12	75.00	900.00	
f	Soap dish	no	8	35.00	280.00	
g	Towel rails	no	8	95.00	760.00	6,460.00
<b><u>Roof &amp; Wall Cladding</u></b>						
a	Colorbond Custom Orb roof sheeting installed with Class 4 screws	m2	340	50.00	17,000.00	
b	Ditto to Verandahs	m2	67	50.00	3,350.00	
c	Ditto to Carports	m2	169	50.00	8,450.00	
d	Ditto to awning	m2	36	50.00	1,800.00	
<b><u>Flashings</u></b>						
a	Colorbond barge capping	m	85	40.00	3,400.00	
b	Ditto apron flashing	m	59	40.00	2,360.00	
<b><u>Wall Cladding</u></b>						
a	Colorbond Custom Orb gable end wall cladding fixed to metal wall framing including trims	m2	23	60.00	1,380.00	
<b><u>Insulation</u></b>						
a	HD sisalation	m2	611	5.00	3,055.00	
b	R2.5 foiled backed insulation blanket	m2	340	18.00	6,120.00	
c	Galv safety mesh	m2	340	3.00	1,020.00	47,935.00
<b><u>Windows &amp; Glazing</u></b>						
<b><u>Powdercoated aluminium framed clear glazed louvre windows to the following</u></b>						
a	Window size 1.21w x 1.50h	no	8	763.00	6,104.00	
b	Ditto 1.81w x 1.20h	no	8	913.00	7,304.00	
c	Ditto 2.41w x 1.20h	no	4	1,215.00	4,860.00	
d	Ditto 0.71w x 0.80h	no	4	239.00	956.00	
<b><u>Powdercoated aluminium framed clear glazed sliding door</u></b>						
a	Door size 2.11w x 2.11h	no	4	2,672.00	10,688.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
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**30% DESIGN REVIEW ESTIMATE: 4 No. TOWNHOUSES - UNITS 9 - 12**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<u>Mirrors &amp; Shower Screens</u>						
a	0.60 wide x 0.90 high mirror	no	12	226.00	2,712.00	
b	Glazed shower screen with glazed door	no	8	650.00	5,200.00	
<u>Security Screens</u>						
a	EO for aluminium fly screens to windows	m2	46	90.00	4,140.00	
b	Crimsafe security screen doors	no	4	1,165.00	4,660.00	
c	Crimsafe sliding security screen doors	no	4	1,165.00	4,660.00	51,284.00
<u>Doors &amp; Frames</u>						
<u>Solid Core Single External Doors</u>						
a	Door size 0.92w x 2.04h	no	4	310.00	1,240.00	
<u>Solid Core Single Internal Doors</u>						
a	Door size 0.92 x 2.04h	no	28	290.00	8,120.00	
<u>Pressed Metal Single Door Frames</u>						
a	Door size 1.01w x 2.10h	no	32	160.00	5,120.00	14,480.00
<u>Ceiling &amp; Wall Linings</u>						
<u>Ceiling Linings</u>						
a	10mm flush plasterboard ceiling linings on & including battens	m2	392	48.00	18,816.00	
b	10mm flush waterproof plasterboard ceiling linings on & including battens	m2	52	52.00	2,704.00	
c	P50 Shadow trim cornices	m	501	15.00	7,515.00	
<u>Wall Linings</u>						
a	10 flush Impact Resistant plasterboard wall linings on & including top hat battens fixed to masonry block walls	m2	40	60.00	2,400.00	
b	10 flush plasterboard wall linings	m2	512	35.00	17,920.00	
c	10 flush MR plasterboard wall linings	m2	171	40.00	6,840.00	56,195.00
<u>Floor &amp; Wall Finishes</u>						
a	Ceramic wet area wall tiling	m2	150	80.00	12,000.00	
b	Ditto wet area floor tiling	m2	52	80.00	4,160.00	
c	Render to internal masonry walls	m2	553	25.00	13,825.00	
d	Ceramic floor tiling	m2	417	80.00	33,360.00	
e	Waterproof membrane to wet area floors	m2	52	25.00	1,300.00	
f	Waterproof membrane to wet area walls	m2	150	25.00	3,750.00	68,395.00
<u>Joinery</u>						
<u>MR MDF laminated finish to the following:-</u>						
a	5.20m girth x 0.60 wide x 900 high Kitchen bench cupboards	no	4	4,940.00	19,760.00	
b	1.80m long x 0.80 wide x 900 high Kitchen servery bench cupboards	no	4	2,160.00	8,640.00	
c	3.0m long x 0.30 wide x 0.75 high Kitchen overhead cupboards	no	4	1,950.00	7,800.00	
d	1.30m long x 0.60 wide x 1.20 high Pantry cupboards	no	4	1,235.00	4,940.00	
e	1.10m long x 0.60 wide x 2.10 high storage shelving	no	4	660.00	2,640.00	
f	0.90m long x 0.45 wide vanity bench / cupboards	no	8	585.00	4,680.00	
g	2.40m long x 0.60 wide x 2.70 high wardrobe	no	4	1,680.00	6,720.00	
h	2.00m long x 0.60 wide x 2.70 high wardrobe	no	8	1,400.00	11,200.00	66,380.00

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**30% DESIGN REVIEW ESTIMATE: 4 No. TOWNHOUSES - UNITS 9 - 12**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<b><u>Painting</u></b>						
<i><u>Prepare and paint the following:-</u></i>						
a	Quickwall to external walls	m2	553	28.00	15,484.00	
b	Plasterboard ceiling linings	m2	443	13.00	5,759.00	
c	Rendered masonry walls	m2	553	14.00	7,742.00	
d	Plasterboard wall linings	m2	722	13.00	9,386.00	
e	Single timber flush doors	no	32	90.00	2,880.00	
f	Single PM door frames	no	32	45.00	1,440.00	
g	Structural steel	m2	125	20.00	2,500.00	45,191.00
<b><u>Plumbing &amp; Drainage</u></b>						
a	WC suite complete	no	12	850.00	10,200.00	
b	Wall mounted hand basin	no	4	650.00	2,600.00	
c	Vanity basins	no	8	650.00	5,200.00	
d	Double bowl stainless steel kitchen sink	no	4	500.00	2,000.00	
e	1.525 long bath	no	4	1,100.00	4,400.00	
f	70 litre laundry trough	no	4	500.00	2,000.00	
<i><u>The Following in taps mixers and valves etc.</u></i>						
a	Shower set comprising Single Lever Recess Set with rose & arm with hand held shower	no	8	650.00	5,200.00	
b	Single lever hand basin mixer tap	no	12	400.00	4,800.00	
c	Single Kitchen Lever Set and spout	no	4	400.00	1,600.00	
d	Single Lever Recess Set and telescopic laundry arm	no	4	310.00	1,240.00	
e	Washing hose cock	no	4	120.00	480.00	
f	Cistern cock	no	12	95.00	1,140.00	
g	DN20 isolation valve	no	4	120.00	480.00	
h	DN20 tempering valves	no	4	480.00	1,920.00	
j	DN20 expansion control valve	no	4	120.00	480.00	
k	DN20 pressure relief valve	no	4	210.00	840.00	
l	DN25 valve in cast iron valve box	no	4	450.00	1,800.00	
m	External hose cocks	no	8	150.00	1,200.00	
<b><u>Sewer connection</u></b>						
a	DN50 in vent pipe	m	30	45.00	1,350.00	
b	DN50 uPVC waste pipe in trench not exceeding 1.0m deep	m	18	45.00	810.00	
c	DN50 uPVC S or P traps	no	20	55.00	1,100.00	
d	DN100 uPVC sewer main in trench not exceeding 1.0m deep	m	80	60.00	4,800.00	
e	DN100 uPVC riser & main to sewer above	m	60	60.00	3,600.00	
f	DN100 uPVC bends	no	128	45.00	5,760.00	
g	DN100 uPVC junctions	no	36	65.00	2,340.00	
h	DN100 uPVC clean out	no	8	120.00	960.00	
j	DN100 uPVC tundish	no	4	310.00	1,240.00	
k	DN100 uPVC floor wastes	no	20	210.00	4,200.00	
l	Sewer connection	no	4	250.00	1,000.00	
<b><u>Water Supply</u></b>						
a	DN25 PN12 PE100 uPVC water supply pipe in trench	m	61	30.00	1,830.00	
b	DN20 copper water supply in ceiling space including drops	m	116	25.00	2,900.00	
c	DN15 in branches to fixtures	m	128	20.00	2,560.00	
d	Connect to main water line	no	4	200.00	800.00	
<b><u>Hot Water</u></b>						
a	Heat pump HWS	no	4	5,300.00	21,200.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT**  
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**30% DESIGN REVIEW ESTIMATE: 4 No. TOWNHOUSES - UNITS 9 - 12**

Ref.	Description	Unit	Qty	Rate	Extension	Total
b	DN20 insulated copper hot water supply pipe in ceiling space	m	113	28.00	3,164.00	
c	DN15 insulated hw in branches	m	108	23.00	2,484.00	
d	BWIC	item	1	2,742.00	2,742.00	112,420.00
<b><u>Electrical Installation</u></b>						
a	Main switchboard / metre box	no	1	2,500.00	2,500.00	
b	Distribution board	no	4	1,200.00	4,800.00	
c	Bench top hot plate	no	4	900.00	3,600.00	
d	Under bench wall oven	no	4	1,200.00	4,800.00	
e	Rangehood	no	4	650.00	2,600.00	
<b><u>Light Fittings</u></b>						
a	Ceiling mounted oyster light	no	84	120.00	10,080.00	
b	Weatherproof fluoro light	no	8	150.00	1,200.00	
c	Wall mounted weatherproof fluoro light	no	4	210.00	840.00	
d	2x 36 surface mounted waterproof fluoro lights	no	4	180.00	720.00	
e	Movement sensor	no	4	250.00	1,000.00	
f	1400 diam ceiling fans	no	32	300.00	9,600.00	
<b><u>Switches and Power Outlets</u></b>						
a	10 Amp Single GPO	no	12	90.00	1,080.00	
b	10 Amp Double GPO's	no	68	110.00	7,480.00	
c	Waterproof double GPO's	no	4	150.00	600.00	
d	Waterproof isolating switch to A/C units	no	8	250.00	2,000.00	
e	32A 240V outlet for stove	no	4	310.00	1,240.00	
f	Mains powered smoke alarm with battery backup	no	8	275.00	2,200.00	
g	Incoming telephone cabling	m	40	40.00	1,600.00	
h	Telephone main distribution frame	no	4	250.00	1,000.00	
j	Television antenna	no	4	550.00	2,200.00	
k	TV points	no	8	150.00	1,200.00	
l	Communications outlets	no	8	310.00	2,480.00	
m	Direct connection	no	4	500.00	2,000.00	
n	BWIC	item	1	1,671.00	1,671.00	68,491.00
<b><u>Mechanical Installation</u></b>						
a	Split system air conditioning - 1 1/2hp	no	12	2,000.00	24,000.00	
b	Split system air conditioning - 2 1/2hp	no	8	2,700.00	21,600.00	
c	Ducted exhaust system including fans, etc	m	50	150.00	150.00	
d	Tundish for A/C units - stainless steel SPS set in wall with vented face etc	no	8	300.00	2,400.00	
e	BWIC	item	1	1,204.00	1,204.00	49,354.00
<b><u>Landscaping</u></b>						
a	Selected landscaping to units including lawns, trees, shrubs, etc	m2	93	40.00	3,720.00	
b	Provision for irrigation	m2	93	25.00	2,325.00	6,045.00



**PROPOSED COP RESIDENTIAL DEVELOPMENT  
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**30% DESIGN REVIEW ESTIMATE: 4 No. TOWNHOUSES - UNITS 9 - 12**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<b>SUMMARY</b>						
	Net Total					961,931.00
a	Preliminaries				8.00%	76,955.00
	Sub-Total					1,038,886.00
b	Builder's Margin				5.00%	51,945.00
	Sub-Total					1,090,831.00
c	Construction Contingency				10.00%	109,084.00
	Sub-Total					1,199,915.00
d	Escalation - To Commencement - say June 2014					9,000.00
e	Escalation - Construction 7 months				1.42%	8,085.00
<b>Total Construction Cost Excluding GST</b>						<b>\$1,217,000.00</b>

Cost per square metre Excluding GST:

Fully Enclosed Covered Area (FECA)	505	\$2,409.90 /m2 Excluding GST
Unenclosed Covered Area (UCA)	205	
Gross Building Area (GBA)	710	\$1,714.08 /m2 Excluding GST

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
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**30% DESIGN REVIEW ESTIMATE: 1 VILLA AND 2 TOWNHOUSES - UNITS 6 - 8 AND 13 - 15**

Ref.	Description	Unit	Qty	Rate	Extension	Total
<b><u>Groundwork's</u></b>						
a	Compact sub-grade	m2	380	3.00	1,140.00	
b	Select fill to building pad	m3	57	40.00	2,280.00	
c	Compaction surface of fill to 95% MMDD	m2	380	3.00	1,140.00	
d	Excavate edge beams & thickenings	m3	31	35.00	1,085.00	
e	Ditto for bored piers	m3	7	60.00	420.00	
f	Disposal of excavated material	m3	38	10.00	380.00	
g	50mm sand bed	m2	380	4.00	1,520.00	
h	Damp proof membrane	m2	437	4.00	1,748.00	
j	300 x 75 concrete mowing strip	m	27	30.00	810.00	
k	Termite hand spray	m2	437	10.00	4,370.00	
l	Termite irrigation system	m	56	10.00	560.00	15,453.00
<b><u>Concrete work</u></b>						
<b><u>25Mpa concrete:</u></b>						
a	100 Concrete slab on ground including edge beams & thickenings	m3	61	248.00	15,128.00	
b	200 Suspended concrete slab including beams	m3	51	231.00	11,781.00	
c	Concrete to bored piers	m3	7	265.00	1,855.00	
<b><u>Finishes etc.</u></b>						
a	Steel float finish to slabs	m2	336	16.00	5,376.00	
b	Wood float finish to paving	m2	170	16.00	2,720.00	
<b><u>Formwork</u></b>						
a	To side of edge beam or thickening	m2	61	70.00	4,270.00	
b	To soffits of suspended slab	m2	253	80.00	20,240.00	
c	To edge of suspended slab n.e. 250mm high	m	46	30.00	1,380.00	
d	To sides of set downs not exceeding 50mm high	m	67	15.00	1,005.00	
<b><u>Reinforcement</u></b>						
<b><u>Bars</u></b>						
a	N12 starter bars	t	0.18	2,300.00	414.00	
b	N16 Bar	t	1.10	2,300.00	2,530.00	
c	R10 ligs	t	0.19	2,300.00	437.00	
<b><u>Mesh</u></b>						
a	SL72 mesh reinforcement	m2	170	15.00	2,550.00	
b	SL92 mesh reinforcement	m2	465	18.00	8,370.00	
c	4LTM trench mesh	m	111	12.00	1,332.00	
d	Concrete pump	m3	118	30.00	3,540.00	
e	Testing of concrete	m3	118	15.00	1,770.00	
f	Curing of concrete	m2	632	2.00	1,264.00	85,962.00
<b><u>Masonry</u></b>						
a	200 Series external masonry block walls	m2	430	77.00	33,110.00	
b	EO for bond beams	m	456	2.50	1,140.00	
c	EO for raking bond beams	m	30	35.00	1,050.00	
d	EO for E blocks	m	33	3.00	99.00	
e	EO for lintel beams	m	38	15.00	570.00	
f	EO for sills	m	31	21.00	651.00	
g	EO for sill beams	m	38	2.50	95.00	
h	EO for clean out blocks	no	272	1.50	408.00	
j	N12 Reinforcing bar	t	2.61	2,200.00	5,742.00	
k	Core fill	m3	21	263.00	5,523.00	
l	Masonry block control joints	m	28	35.00	980.00	49,368.00
<b><u>Steelwork</u></b>						
a	C1:- Columns 75 x 75 x 4.0 SHS	t	0.38	6,000.00	2,280.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

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**30% DESIGN REVIEW ESTIMATE: 1 VILLA AND 2 TOWNHOUSES - UNITS 6 - 8 AND 13 - 15**

Ref.	Description	Unit	Qty	Rate	Extension	Total
b	ST1:- Struts 75 x 75 x 4.0 SHS	t	0.08	6,000.00	480.00	
c	R1:- Rafters 125 x 75 x 4.0 RHS	t	0.62	6,000.00	3,720.00	
d	AR:- Awning Rafters 100 x 50 x 3.0 RHS	t	0.07	6,000.00	420.00	
e	P1:- Purlins 100 x 50 x 2.5 RHS	t	0.99	6,000.00	5,940.00	
f	Attached connections	t	0.17	7,000.00	1,190.00	
g	Shop drawings	item	3	500.00	1,500.00	
h	Fall arrest equipment	m	73	15.00	1,095.00	
j	Scaffolding	item	1	Incl.	Incl.	16,625.00
<b><u>Metalwork</u></b>						
a	75 x 1.2 Internal metal wall framing	m2	234	72.00	16,848.00	
b	etc.	m/r	77	100.00	7,700.00	
c	DN32 galvanised balustrades	m	34	250.00	8,500.00	
d	Metal framed powdercoated privacy screens	m2	21	275.00	5,775.00	38,823.00
<b><u>Woodwork</u></b>						
a	Prefabricated roof trusses, fascia and roof battens	m2	380	105.00	39,900.00	39,900.00
<b><u>Hardware</u></b>						
a	External door locks	no	3	200.00	600.00	
b	Internal door locks	no	11	120.00	1,320.00	
c	Privacy door locks	no	8	130.00	1,040.00	
d	Raven RP4T door seal	no	3	60.00	180.00	
e	Toilet roll holders	no	8	75.00	600.00	
f	Soap dish	no	6	35.00	210.00	
g	Towel rails	no	6	95.00	570.00	4,520.00
<b><u>Roof &amp; Wall Cladding</u></b>						
a	Colorbond Custom Orb roof sheeting installed with Class 4 screws	m2	319	50.00	15,950.00	
b	Ditto to Verandahs	m2	42	50.00	2,100.00	
c	Ditto to Carports	m2	365	50.00	18,250.00	
d	Ditto to awning	m2	18	50.00	900.00	
<b><u>Flashings</u></b>						
a	Colorbond barge capping	m	47	40.00	1,880.00	
b	Ditto apron flashing	m	33	40.00	1,320.00	
<b><u>Wall Cladding</u></b>						
a	Colorbond Custom Orb gable end wall cladding fixed to metal wall framing including trims	m2	34	60.00	2,040.00	
<b><u>Insulation</u></b>						
a	HD sisalation	m2	743	5.00	3,715.00	
b	R2.5 foiled backed insulation blanket	m2	319	18.00	5,742.00	
c	Galv safety mesh	m2	319	3.00	957.00	52,854.00
<b><u>Windows &amp; Glazing</u></b>						
<b><u>Powdercoated aluminium framed clear glazed louvre windows with security bars to the following</u></b>						
a	Window size 1.21w x 1.50h	no	6	1,393.00	8,358.00	
b	Ditto 1.81w x 1.20h	no	1	913.00	913.00	
c	Ditto 1.51w x 1.20h	no	1	762.00	762.00	
d	Ditto 2.41w x 1.20h	no	2	1,215.00	2,430.00	
e	Ditto 0.71w x 0.80h	no	2	239.00	478.00	
f	Ditto 0.61w x 2.10h	no	1	539.00	539.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPA COURT PALMERSTON**

Prepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: 1 VILLA AND 2 TOWNHOUSES - UNITS 6 - 8 AND 13 - 15**

Ref.	Description	Unit	Qty	Rate	Extension	Total
	<u>Powdercoated aluminium framed clear glazed sliding door</u>					
a	Door size 2.11w x 2.11h	no	2	2,672.00	5,344.00	
b	Door size 2.41w x 2.11h	no	1	3,051.00	3,051.00	
	<u>Mirrors &amp; Shower Screens</u>					
a	0.60 wide x 0.90 high mirror	no	8	226.00	1,808.00	
b	Glazed shower screen with glazed door	no	6	650.00	3,900.00	
	<u>Security Screens</u>					
a	EO for aluminium fly screens to windows	m2	21	90.00	1,890.00	
b	Crimsafe security screen doors	no	3	1,165.00	3,495.00	
c	Crimsafe sliding security screen doors	no	3	1,165.00	3,495.00	36,463.00
	<u>Doors &amp; Frames</u>					
	<u>Solid Core Single External Doors</u>					
a	Door size 0.92w x 2.04h	no	3	310.00	930.00	
	<u>Solid Core Single Internal Doors</u>					
a	Door size 0.92 x 2.04h	no	19	290.00	5,510.00	
	<u>Pressed Metal Single Door Frames</u>					
a	Door size 1.01w x 2.10h	no	22	160.00	3,520.00	9,960.00
	<u>Ceiling &amp; Wall Linings</u>					
	<u>Ceiling Linings</u>					
a	10mm flush plasterboard ceiling linings on & including battens	m2	261	48.00	12,528.00	
b	10mm flush waterproof plasterboard ceiling linings on & including battens	m2	37	52.00	1,924.00	
c	P50 Shadow trim cornices	m	313	15.00	4,695.00	
	<u>Wall Linings</u>					
a	10 flush Impact Resistant plasterboard wall linings on & including top hat battens fixed to masonry block walls	m2	36	50.00	1,800.00	
b	10 flush plasterboard wall linings	m2	346	35.00	12,110.00	
c	10 flush MR plasterboard wall linings	m2	121	40.00	4,840.00	37,897.00
	<u>Floor &amp; Wall Finishes</u>					
a	Ceramic wet area wall tiling	m2	117	80.00	9,360.00	
b	Ditto wet area floor tiling	m2	37	80.00	2,960.00	
c	Render to internal masonry walls	m2	390	25.00	9,750.00	
d	Ceramic floor tiling	m2	273	80.00	21,840.00	
e	Waterproof membrane to wet area floors	m2	37	25.00	925.00	
f	Waterproof membrane to wet area walls	m2	117	25.00	2,925.00	47,760.00
	<u>Joinery</u>					
	<u>MR MDF laminated finish to the following:-</u>					
a	5.00m girth x 0.60 wide x 900 high Kitchen bench cupboards	no	1	4,750.00	4,750.00	
b	5.20m girth x 0.60 wide x 900 high Kitchen bench cupboards	no	2	4,940.00	9,880.00	
c	1.80m long x 0.80 wide x 900 high Kitchen servery bench cupboards	no	3	2,160.00	6,480.00	
d	3.0m long x 0.30 wide x 0.75 high Kitchen overhead cupboards	no	2	1,950.00	3,900.00	
e	5.0m girth x 0.30 wide x 0.75 high Kitchen overhead cupboards	no	1	3,250.00	3,250.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPA COURT PALMERSTON**

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*Quantity Surveyors and Cost Consultants*

**30% DESIGN REVIEW ESTIMATE: 1 VILLA AND 2 TOWNHOUSES - UNITS 6 - 8 AND 13 - 15**

Ref.	Description	Unit	Qty	Rate	Extension	Total
f	0.60m long x 0.60 wide x 1.20 high Pantry cupboards	no	1	570.00	570.00	
g	1.30m long x 0.60 wide x 1.20 high Pantry cupboards	no	2	1,235.00	2,470.00	
h	1.10m long x 0.60 wide x 2.10 high storage shelving	no	2	660.00	1,320.00	
j	0.90m long x 0.45 wide vanity bench / cupboards	no	5	585.00	2,925.00	
k	1.10m long x 0.45 wide vanity bench / cupboards	no	1	715.00	715.00	
l	1.80m long x 0.60 wide x 2.70 high wardrobe	no	1	1,260.00	1,260.00	
m	2.40m long x 0.60 wide x 2.70 high wardrobe	no	2	1,680.00	3,360.00	
n	2.00m long x 0.60 wide x 2.70 high wardrobe	no	5	1,400.00	7,000.00	47,880.00

**Painting**

*Prepare and paint the following:-*

a	Quickwall to external walls	m2	390	28.00	10,920.00	
b	Plasterboard ceiling linings	m2	297	13.00	3,861.00	
c	Rendered masonry walls	m2	390	14.00	5,460.00	
d	Plasterboard wall linings	m2	502	13.00	6,526.00	
e	Single timber flush doors	no	22	90.00	1,980.00	
f	Single PM door frames	no	22	45.00	990.00	
g	Structural steel	m2	75	20.00	1,500.00	20,317.00

**Plumbing & Drainage**

a	WC suite complete	no	8	850.00	6,800.00	
b	Wall mounted hand basin	no	2	650.00	1,300.00	
c	Vanity basins	no	8	650.00	5,200.00	
d	Double bowl stainless steel kitchen sink	no	3	500.00	1,500.00	
e	1.525 long bath	no	2	1,100.00	2,200.00	
f	70 litre laundry trough	no	3	500.00	1,500.00	

*The Following in taps mixers and valves etc.*

a	Shower set comprising Single Lever Recess Set with rose & arm with hand held shower	no	6	650.00	3,900.00	
b	Single lever hand basin mixer tap	no	10	400.00	4,000.00	
c	Single Kitchen Lever Set and spout	no	3	400.00	1,200.00	
d	Single Lever Recess Set and telescopic laundry arm	no	3	310.00	930.00	
e	Washing hose cock	no	3	120.00	360.00	
f	Cistern cock	no	8	95.00	760.00	
g	DN20 isolation valve	no	3	120.00	360.00	
h	DN20 tempering valves	no	3	480.00	1,440.00	
j	DN20 expansion control valve	no	3	120.00	360.00	
k	DN20 pressure relief valve	no	3	210.00	630.00	
l	DN25 valve in cast iron valve box	no	3	450.00	1,350.00	
m	External hose cocks	no	6	150.00	900.00	

**Sewer connection**

a	DN50 in vent pipe	m	19	45.00	855.00	
b	DN50 uPVC waste pipe in trench not exceeding 1.0m deep	m	18	45.00	810.00	
c	DN50 uPVC S or P traps	no	20	55.00	1,100.00	
d	DN100 uPVC sewer main in trench not exceeding 1.0m deep	m	40	60.00	2,400.00	
e	DN100 uPVC riser & main to sewer above	m	88	60.00	5,280.00	
f	DN100 uPVC bends	no	86	45.00	3,870.00	

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

Prepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: 1 VILLA AND 2 TOWNHOUSES - UNITS 6 - 8 AND 13 - 15**

Ref.	Description	Unit	Qty	Rate	Extension	Total
g	DN100 uPVC junctions	no	25	65.00	1,625.00	
h	DN100 uPVC clean out	no	5	120.00	600.00	
j	DN100 uPVC tundish	no	5	310.00	1,550.00	
k	DN100 uPVC floor wastes	no	16	210.00	3,360.00	
l	Sewer connection	no	3	250.00	750.00	
	<u>Water Supply</u>					
a	DN25 PN12 PE100 uPVC water supply pipe in trench	m	39	30.00	1,170.00	
b	DN20 copper water supply in ceiling space including drops	m	84	25.00	2,100.00	
c	DN15 in branches to fixtures	m	88	20.00	1,760.00	
d	Connect to main water line	no	3	200.00	600.00	
	<u>Hot Water</u>					
a	Heat pump HWS	no	3	5,300.00	15,900.00	
b	DN20 insulated copper hot water supply pipe in ceiling space	m	82	28.00	2,296.00	
c	DN15 insulated hw in branches	m	69	23.00	1,587.00	
d	BWIC	item	1	2,058.00	2,058.00	84,361.00
	<b><u>Electrical Installation</u></b>					
a	Main switchboard / metre box	no	1	2,500.00	2,500.00	
b	Distribution board	no	3	1,200.00	3,600.00	
c	Bench top hot plate	no	3	900.00	2,700.00	
d	Under bench wall oven	no	3	1,200.00	3,600.00	
e	Rangehood	no	3	650.00	1,950.00	
	<u>Light Fittings</u>					
a	Ceiling mounted oyster light	no	21	120.00	2,520.00	
b	Weatherproof fluoro light	no	6	150.00	900.00	
c	Wall mounted weatherproof fluoro light	no	2	210.00	420.00	
d	2x 36 surface mounted waterproof fluoro lights	no	3	180.00	540.00	
e	Movement sensor	no	3	250.00	750.00	
f	1400 diam ceiling fans	no	21	300.00	6,300.00	
	<u>Switches and Power Outlets</u>					
a	10 Amp Single GPO	no	9	90.00	810.00	
b	10 Amp Double GPO's	no	48	110.00	5,280.00	
d	Waterproof double GPO's	no	3	150.00	450.00	
e	Waterproof isolating switch to A/C units	no	10	250.00	2,500.00	
f	32A 240V outlet for stove	no	3	310.00	930.00	
g	Mains powered smoke alarm with battery backup	no	6	275.00	1,650.00	
h	Incoming telephone cabling	m	30	40.00	1,200.00	
j	Telephone main distribution frame	no	3	250.00	750.00	
k	Television antenna	no	3	550.00	1,650.00	
l	TV points	no	5	150.00	750.00	
m	Communications outlets	no	6	310.00	1,860.00	
n	Direct connection	no	3	500.00	1,500.00	
p	BWIC	item	1	1,128.00	1,128.00	46,238.00
	<b><u>Mechanical Installation</u></b>					
a	Split system air conditioning - 1 1/2hp	no	8	2,000.00	16,000.00	
b	Split system air conditioning - 2 1/2hp	no	11	2,700.00	29,700.00	
c	Ducted exhaust system including fans, etc	m	43	150.00	6,450.00	
d	Tundish for A/C units - stainless steel SPS set in wall with vented face etc	no	6	300.00	1,800.00	
e	BWIC	item	1	1,349.00	1,349.00	55,299.00

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

Prepared by : **QS Services**  
*Quantity Surveyors and Cost Consultants*

**30% DESIGN REVIEW ESTIMATE: 1 VILLA AND 2 TOWNHOUSES - UNITS 6 - 8 AND 13 - 15**

Ref.	Description	Unit	Qty	Rate	Extension	Total
	<b><u>Landscaping</u></b>					
a	Selected landscaping to units including lawns, trees, shrubs, etc	m2	39	40.00	1,560.00	
b	Provision for irrigation	m2	39	25.00	975.00	2,535.00

**SUMMARY**

	Net Total					692,215.00
a	Preliminaries				8.00%	55,378.00
	Sub-Total					747,593.00
b	Builder's Margin				5.00%	37,380.00
	Sub-Total					784,973.00
c	Construction Contingency				10.00%	78,498.00
	Sub-Total					863,471.00
d	Escalation - To Commencement - say June 2014					6,477.00
e	Escalation - Construction 7 months				1.45%	6,052.00
	<b>Total Construction Cost Excluding GST - Units 6, 7 &amp; 8</b>					<b>\$876,000.00</b>

**Total Cost for Units 13, 14 & 15**

a	Total Construction Cost Excluding GST for 6, 7, 8, 13, 14 & 15					<b>\$1,752,000.00</b>
b	GST					Excl.
	<b>Total Construction Cost Excluding GST</b>					<b>\$1,752,000.00</b>

Cost per square metre Excluding GST:

Fully Enclosed Covered Area (FECA)	336	\$2,607.14 /m2 Excluding GST
Unenclosed Covered Area (UCA)	170	
Gross Building Area (GBA)	506	\$1,731.23 /m2 Excluding GST

**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPA COURT PALMERSTON**

Prepared by : **QS Services**  
Quantity Surveyors and Cost Consultants

**30% DESIGN REVIEW ESTIMATE: EXTERNAL WORKS**

Revised : 24 April 2014

Ref.	Description	Unit	Qty	Rate	Extension	Total
<b><u>External Site Works</u></b>						
a	Site safety fencing	m	252	25.00	6,300.00	
b	Clear site	m2	4,650	2.50	11,625.00	
c	Strip 100mm top soil	m2	4,650	3.00	13,950.00	
d	Site cut and fill to form building pads	m3	785	60.00	47,100.00	
e	EO for excavation in rock	item	1	30,000.00	30,000.00	
<b><u>Driveways, Walkways etc.</u></b>						
a	Concrete vehicle crossover including removal of mountable kerb to PCC requirements	m	6	210.00	1,260.00	
b	Cut to form internal roads	m3	177	60.00	10,620.00	
c	Compact sub-grade	m2	589	3.00	1,767.00	
d	Selected gravel base course to driveway	m3	82	45.00	3,690.00	
e	Compact base course to 98% MMDD	m2	589	3.00	1,767.00	
f	150mm thick Coloured concrete crossover	m3	4	250.00	1,000.00	
g	125mm thick Coloured concrete crossover from road to carports	m3	17	180.00	3,060.00	
h	SL82 mesh	m2	153	16.00	2,448.00	
j	Formwork n.e 150mm high	m	194	25.00	4,850.00	
k	Broom finish to driveway	m2	153	16.00	2,448.00	
l	Compacted asphalt paving to internal road including prime & seal coats	m2	589	45.00	26,505.00	
m	100mm thick concrete footpath including, sand bed, reinforcing mesh, etc	m2	156	80.00	12,480.00	
n	Concrete kerbing	m	181	55.00	9,955.00	
p	Road line marking	m	88	15.00	1,320.00	192,145.00
<b><u>Stormwater:</u></b>						
a	Allowance for internal stormwater	item	1	25,000.00	25,000.00	
b	Allow to relocate stormwater	item	1	15,000.00	15,000.00	40,000.00
<b><u>External Sewer Mains</u></b>						
a	DN100 uPVC site sewer main in trench not exceeding 1.00m deep	m	111	80.00	8,880.00	
b	DN150 uPVC site sewer main in trench not exceeding 1.00m deep	m	28	120.00	3,360.00	
c	Connect sewer main to existing manhole stub	item	1	1,500.00	1,500.00	
d	BWIC	item	1	344.00	344.00	14,084.00
<b><u>External Water Mains</u></b>						
a	DN25 uPVC water main in trench not exceeding 1.00m deep	m	19	35.00	665.00	
b	DN32 uPVC water main in trench not exceeding 1.00m deep	m	102	45.00	4,590.00	
c	DN40 uPVC water main in trench not exceeding 1.00m deep	m	41	70.00	2,870.00	
d	Hydrant booster valve and hydrant	item	1	18,000.00	18,000.00	
e	DN40 Water meter assembly	no	1	5,000.00	5,000.00	
f	BWIC	item	1	779.00	779.00	31,904.00
<b><u>External Electrical &amp; Communication Mains</u></b>						
a	Site main switchboard	no	1	15,000.00	15,000.00	
b	DN100 HD uPVC site electrical conduits including cabling in trench not exceeding 1.00m deep	m	272	100.00	27,200.00	
c	Electrical pits	no	6	1,200.00	7,200.00	



**PROPOSED COP RESIDENTIAL DEVELOPMENT  
LOT 8955 BIRRIPIA COURT PALMERSTON**

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**30% DESIGN REVIEW ESTIMATE: EXTERNAL WORKS**

Revised : 24 April 2014

Ref.	Description	Unit	Qty	Rate	Extension	Total
d	DN100 HD uPVC site communications conduits including cabling in trench not exceeding 1.00m deep	m	238	80.00	19,040.00	
e	Telstra external main frame	no	1	2,500.00	2,500.00	
f	Communications pit	no	9	900.00	8,100.00	
g	BWIC	item	1	1,976.00	1,976.00	81,016.00
<b>Fencing</b>						
a	1.80 high Colorbond metal boundary fence	m	62	250.00	15,500.00	
b	1.80m high 200 series masonry block front fence with letter boxes including footings	m	91	400.00	36,400.00	
c	1.80 high Powdercoated aluminium pool type front fence	m	212	250.00	53,000.00	
d	6.0m wide x 1.80 high automatic operated sliding vehicle gate	no	1		Excl.	
e	0.90w x 1.80 high automatic pedestrian security gate	no	2		Excl.	104,900.00
<b>Sundries:</b>						
a	BBQ area including concrete slab, etc	m2	18	100.00	1,800.00	
b	Garbage bin enclosure including paving, etc	m2	14	250.00	3,500.00	
c	Letterbox	no	16	150.00	2,400.00	
d	Street number/development name/signage	no	1	7,000.00	7,000.00	
e	Proprietary garden storage sheds - (2.40m x 1.5m)	no	15	650.00	9,750.00	
f	Playground equipment - Excluded	item	1		Excl.	
g	BBQ - Excluded	item	1		Excl.	
h	Provision for retaining walls	item	1	85,000.00	85,000.00	109,450.00
<b>Landscaping</b>						
a	Provision for landscaping and irrigation	item	1	107,000.00	107,000.00	107,000.00

**SUMMARY**

	Net Total		680,499.00
a	Preliminaries	8.00%	54,440.00
	Sub-Total		734,939.00
b	Builder's Margin	5.00%	36,747.00
	Sub-Total		771,686.00
c	Construction Contingency	12.00%	92,603.00
	Sub-Total		864,289.00
d	Escalation - To Commencement - say June 2014		6,483.00
e	Escalation - Construction 7 months	1.47%	6,228.00
<b>Total Construction Cost Excluding GST</b>			<b>\$877,000.00</b>

**Notes and Summary**

- 1 No allowance is made for legal costs, statutory fees, stamp duties applications or approval costs or related fees and latent site conditions, or any other such costs which are over and above those construction costs which could not be reasonably expected to have been foreseen at the time of the estimate preparation.
- 2 All figures are priced at those current at the time of the initial estimate preparation, and an allowance has been made for construction contingency and escalation.
- 3 No allowance has been made for loose furniture, fittings and equipment (FF&E)

## ATTACHMENT H

## INDICATIVE RETURN ON INVESTMENT FOR 5 BIRRIPIA COURT

		Project Cost 2014	Year 0 end 2014	Year 10 2024	% ROI
<b>Fund build from reserve</b>	land	\$1,300,000	0	\$0	
	cash	\$5,844,200	0	\$0	
	building	\$0	\$7,213,000	\$12,917,384	
	net rent	\$0	\$0	\$2,410,022	
<b>Total</b>		<b>\$7,144,200</b>	<b>\$7,213,000</b>	<b>\$15,327,406</b>	<b>115%</b>

<b>Assumptions</b>	Capital growth rate	6%
	Annual CPI	3%
	Sale price 2 bedroom unit	\$439,900
	Sale price 3 bedroom unit	\$516,750
	Weekly rent 2 bedroom unit	\$540
	Weekly rent 3 bedroom unit	\$600
	Total construction cost	\$5,844,200

**CITY OF PALMERSTON**

**Minutes of Confidential Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 3 June 2014 at 9.35 pm**

**RELEASE TO THE PUBLIC RECORD**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Heather Malone  
Alderman Paul Bunker  
Alderman Geoff Carter  
Alderman Andrew Byrne  
Alderman Sue McKinnon  
Alderman Seranna Shutt

**Staff:** Ricki Bruhn, Chief Executive Officer (10:00pm)  
Ben Dornier, Director of Corporate and Community Services  
Mark Spangler, Director of Technical Services (10:00pm)  
Linda Elmer, Minute Secretary (10:00pm)

**2. APOLOGIES**

Nil

**3. CONFIRMATION OF MINUTES**

Moved: Alderman Carter  
Seconded: Deputy Mayor Malone

THAT the minutes from the CEO Performance Appraisal Panel Committee meeting held on 29 May 2014 be received and noted.

**CARRIED 8/1112-03/06/2014**

**4. DEPUTATIONS / PRESENTATIONS**

Nil

**5. OFFICER REPORTS**

**5.1 CEO Performance Appraisal - Committee Recommendation**

**TO REMAIN CONFIDENTIAL AS PER RESOLUTION NUMBER 8/1111-03/06/2014**

*The Chief Executive Officer, Director of Technical Services and Minute Secretary entered the Council Chambers at 10:00pm.*

## MEETING PROCEDURES

### **Suspension of Standing Orders**

Moved: Alderman Byrne  
Seconded: Alderman McKinnon

THAT Standing Orders be suspended to allow for open discussion on The Boulevard – Design Update.

**CARRIED 8/1115–03/06/2014**

Standing Orders were suspended at 10:01pm

### **Reinstatement of Standing Orders**

Moved: Alderman Carter  
Seconded: Deputy Mayor Malone

THAT Standing Orders be reinstated.

**CARRIED 8/1116–03/06/2014**

Standing Orders were reinstated at 11:38pm

## **5.2 The Boulevard – Design Update**

**8/0494**

Moved: Alderman Carter  
Seconded: Alderman Bunker

1. THAT Council receives Report Number 8/0494.
2. THAT Council requests service vehicles to left turn from Chung Wah into The Boulevard.
3. THAT Council adopts indented bus bays for public bus service adjacent Goyder Square and subject to the urban planner's agreement.

**5.2 The Boulevard – Design Update (continued)**

**8/0494**

4. THAT Council endorses the pedestrian crossing locations recommended for The Boulevard by Roberts Day.
5. THAT Council endorses the removal of the shade canopy adjacent to the Quest Apartments and the modification of the entry stairs, patio and ramps and relocation of the bus drop off area.
6. THAT Council endorses a standard drainage design for The Boulevard.
7. THAT Council does not support raised planter boxes in the bicycle lane clearance zone.
8. THAT Council approve the bus interchange access intersection being designed in accordance with accepted design standards and guidelines such as the Austroads Guidelines and in consultation with the Northern Territory Government.
9. THAT Council approve the intersection of The Boulevard and Roystonea Avenue being designed in accordance with accepted design standards and guidelines such as the Austroads Guidelines and in consultation with the Northern Territory Government.
10. THAT the Kilgour Lane cycle path crossing be generally in accordance with the Austroads Guidelines.
11. THAT information signage regarding The Boulevard design be erected along The Boulevard.

**CARRIED 8/1117–03/06/2014**

**5. MOVE TO OPEN**

Moved: Deputy Mayor Malone  
Seconded: Alderman Carter

THAT the Council move into the open session.

**CARRIED 8/1118–03/06/2014**

The meeting moved to the Open Session at 11:41pm

**CONFIRMED AT MEETING TO BE HELD 17 JUNE 2014**

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(Chair)

**ITEM NO.** 17.2                      **The Boulevard – Design Update**

**FROM:**                                      **Director of Technical Services**

**REPORT NUMBER:**                      **8/0494**

**MEETING DATE:**                        **3 June 2014**

---

**Municipal Plan:**

**2. Economic Development**

**2.3 City Planning**

We are committed to effective and responsible city planning which balances and meets both residential and commercial needs in our community

**Summary:**

Following a workshop with consultants Roberts Day in April 2014, Council adopted a road cross section for The Boulevard based on Roberts Day's recommendations for key characteristics. A number of the adopted characteristics differ from accepted design guidelines such as AustRoads Guidelines and the design team is required to seek direction as required from Roberts Day and Council. A number of information requests were made to Roberts Day and Council is asked to approve:

- the revised Roberts Day design
- seeking a fee proposal from Roberts Day to act as the lead design consultant
- commencing consultation with the Quest Hotel and the department of Transport

**Background:**

Council decision 8/1044 of the 22<sup>nd</sup> April 2014 approved a road cross section for The Boulevard as recommended by Roberts Day with the characteristics of:

- Traffic lane width of 3.5m
- Parking lane width of 2.5m
- Bicycle lane width of 1.5m each way (3.0m in total) with a clearance of 0.6m from parked cars
- Bicycle lane to be two-way and located on library side of The Boulevard
- Footpath area to be allocated equally to both sides of the road reserve
- Centre line of road offset from centre line of road reserve
- Speed zone of 40 km/h
- No fences to be used between the footpath, bicycle lane and parking lane
- Footpath and bicycle lane to be vertically separated from the road

- Kerb radii to approximately 3 to 3.5m throughout the city centre
- The left turn lanes onto Chung Wah Terrace and Roystonea Avenue to be kept to a minimum length
- A bus bay and shelter be incorporated adjacent to Goyder Square

A number of the adopted characteristics differ from accepted design guidelines such as the Austroads Guidelines.

The design team prepared a draft layout of the revised design showing typical layouts for the proposed bus stop and bicycle lane. A number of design issues were identified and the draft layout was forwarded to Roberts Day on 13 May 2014 with a request for information (**Attachment A**). Roberts Day was also requested to provide advice on the Roystonea Ave – Boulevard intersection.

### **Consideration of the Issues:**

Roberts Day provided the requested advice and revised layout to Council on 27 May 2014 (**Attachment B**). This advice is considered below.

#### *1. The Boulevard Chung Wah Tce intersection – signalized intersection should include bike signals / phasing integrated with pedestrian and cars*

Roberts Day has deleted the left turn slip lane from Chung Wah Tce, reduced the left turning radius, deleted the separating median strip and utilized the additional lane width to create more on street car parking adjacent to the Goyder building.

The combination of a reduced width entry to the Boulevard and the reduced turning radius will hinder larger vehicles turning from Chung Wah Tce into The Boulevard. These vehicles will need to cross the road centre line but this movement will be prevented by traffic queued to turn right into Chung Wah Tce. If a median strip is not installed vehicles may attempt to enter the bottle shop from the east bound Boulevard lane.

#### *2. Bus Stop – consider a bus bulb to avoid the bus stop cutting into the park and control traffic*

Roberts Day has proposed to stop the bus in the traffic lane as shown in the photograph in Attachment B. This allows supporting infrastructure such as the bus shelter to be located in line with the on street car parking lane with only minor deviation of the bicycle lanes.

The proposed configuration minimises the area that would be lost from Goyder Square, however stopping the bus in the traffic lane will disrupt traffic flow along The Boulevard for the time required for passengers to get on and off the bus. This configuration would require consultation with the Department of Transport to gauge acceptability.

3. *Pedestrian crossings – on desire lines. Zebra crossings may be required in some instances. No need to control crossings elsewhere with railings etc.*

Roberts Day has proposed additional crossing points located on both sides of each intersection without zebra crossings at this time.

Should there be a future requirement to install a zebra crossing, this feature could be installed at a later date.

4. *Quest apartments – with our proposed redesign, the drop off area can be reconfigured to accommodate this existing need. Quest should be engaged on overall benefits of vision and their role as an early anchor.*

The Roberts Day layout indicates that the Quest bus stop would also be located in the traffic lane. Roberts Day has deleted the bend out of the bicycle lanes at the Kilgour Lane crossing point and retained a “straight through” alignment for the bicycle lanes.

The proposed configuration limits the impact of The Boulevard changes on the Quest covered bus access area and entrance to Hogs Breathe Café. Stopping the bus in the traffic lane will disrupt traffic flow along The Boulevard for the time required for passengers to get on and off the bus. Maintaining the straight through alignment for the bicycle lanes will make it difficult for vehicles turning from Kilgour Lane onto the Boulevard to maintain adequate sight lines, particularly with respect to the contra-flow bicycle traffic. It is likely that vehicles will stop and block the bicycle lane while the vehicle gives way to traffic, creating the potential for increased conflict with cyclists. Under the Master Plan the Kilgour Lane access to the shopping centre is to be formalized which will increase the number of vehicles using this intersection. The Austroads layout for bicycle lanes is shown in **Attachment C**.

5. *Paving detail – This should be integrated with the public realm vision. We have been thinking that we could do a contemporary ‘French Drain’ and tree channels to express the water during the wet season, whilst creating the opportunity for different types of greenery. On this, the protection zone of the bike lanes should include planters. Happy to work this through in more detail with your approval.*

Roberts Day have proposed to utilise a French drain to manage storm water during the wet season. This concept would provide an opportunity to create additional green space and landscaping features along The Boulevard. Roberts Day has provided a photograph of planter boxes (Attachment B) as an example of providing protection to the bicycle lanes.

The use of a French Drain or similar arrangement would require significant engineering to ensure that a drain of this type was able to convey sufficient storm water flows during wet season rainfall events and be linked to the existing city centre storm water drainage network. Examples of French Drains are shown in **Attachment D**.

The Roberts Day layout shows the planter boxes positioned within the pedestrian area however an image provided of the Goyder square area shows the planter boxes in



the 0.6m bicycle lane clearance zone (**Attachment E**). The form of any such features such as planter boxes would need to consider aspects of cyclist safety.

*6. The Boulevard – Koullias St intersection*

Roberts Day did not provide specific comment on this intersection but the Roberts Day layout replaces the existing round-about with a four-way intersection. The turning radius has been reduced and a “straight through” alignment used for the bicycle lanes.

The current bus interchange access is a restricted access (authorized vehicles only) are not public roads and there is no existing road reserve over Lot 7823. The proposed four-way intersection and road is flagged as a future road under the Master Plan. The proposed configuration would require consultation with the Department of Transport to gauge acceptability.

*7. The Boulevard - Roystonea Ave intersection*

Roberts Day did not specifically address this query however the Roberts Day layout indicates two lanes exiting The Boulevard onto Roystonea Ave and one lane entering The Boulevard from Roystonea Ave with the reduced turning radius. Additional on street parking is shown adjacent to the current Bunnings site.

The proposed layout and deletion of the slip lane would require the intersection to be signalised to support the layout. As Roystonea Ave is a Northern Territory Government road any changes would require consultation with the Department of Transport and their approval.

*Other Issues*

The adoption of non-standard characteristics for the Boulevard road design and the current project governance arrangements, requires significant design issues to be confirmed with Roberts Day and subsequently approved by Council. This approach has led to significant time delays to date and will continue to delay the design process. Appointing Roberts Day as the lead consultant on the Boulevard and novating the design team contract to Roberts Day would avoid the time delays as Roberts Day would present the design and progress reports to Council as agreed.

**Financial Implications:**

The design contract price agreed with Byrne Design was based on utilising accepted design guidelines however the customised nature of the proposed design will increase design costs. Byrne Design has submitted a request for a variation for additional design and drafting work to prepare a number of concept layouts. The variation for approximately \$34,000 has been assessed as fair and approved.

If Roberts Day was to be commissioned to undertake the lead design consultant role, the City of Palmerston would request a fee proposal from Roberts Day.

**Policy Legislation:**

City of Palmerston Subdivisional Guidelines set out the city's requirements for roads cycle ways and footpaths. The 2007 Guidelines have been rescinded and until an alternate guideline is developed, the Economic Development and Infrastructure Committee has been delegated the responsibility for setting subdivision standards.

**RECOMMENDATION**

1. THAT Council receives Report Number 8/0494.
2. THAT Council approves the revised design layout for The Boulevard as submitted by Roberts Day.
3. THAT Council seek a fee proposal from Roberts Day to undertake the role of lead design consultant.
4. THAT Council approve commencing consultation with the Quest Hotel and the Department of Transport regarding the proposed design impacts.

**Recommending Officer:** Mark Spangler, Director of Technical Services

Any queries on this report may be directed to Mark Spangler, Director of Technical Services on telephone (08) 8935 9958 or email [mark.spangler@palmerston.nt.gov.au](mailto:mark.spangler@palmerston.nt.gov.au).

**Schedule of Attachments:**

- A. Information Request to Roberts Day
- B. Roberts Day revised layout
- C. Austroads bicycle lane side road intersection treatment
- D. Example of French Drain
- E. Goyder Square image

## Caroline Hocking

---

**From:** Gary Boyle  
**Sent:** Tuesday, 13 May 2014 10:10 AM  
**To:** 'Stephen.Moore@robertsday.com.au'  
**Cc:** Mark Spangler; Ben Dornier  
**Subject:** Information request - Roberts Day - The Boulevard Palmerston  
**Attachments:** 1349\_SK08.pdf; 1349\_SK09.pdf; 1349\_SK10.pdf

Stephen Moore  
Roberts Day  
Sydney

Stephen

Based on the Boulevard workshop in April, the engineering design team drafted an initial layout (attached). Council did not support the vertical separation of the bicycle lanes that is shown on the attached layout but has adopted a bicycle lane at grade with the footpath and separated from the car parking lane by standard barrier kerb. Your other recommendations for the road cross section were approved by Council and following Council's decision, the design team has re-commenced the engineering design.

To progress the engineering design there are some immediate issues to consider including:

- The Boulevard – Chung Wah intersection layout and making it safe for bicycles as well as holding vehicular traffic to allow vehicles to exit from the water tower car park intersection further along Chung Wah
- Kilgour Lane intersection layout to prioritise safe bicycle movement and the vehicular traffic volume expected from formalising this access to the shopping centre
- Minimising the impact of the proposed bus stop layout on the available area of Goyder Square
- Where to best locate the proposed pedestrian road crossing points and whether to formalise any of them with a marked zebra crossing or similar, considering the impact on vehicular traffic flow
- The impact of the proposed footpath and bicycle lanes on existing infrastructure such as the Quest Apartments bus drop off / pick up area and the associated roof area
- The impact of the proposed multi-level car parking at the end of the recreation centre
- Preferred pavement treatment for the clearance zones adjacent to the bicycle lanes

You will recall at the workshop that intersection performance and traffic storage at intersections was discussed. The traffic engineers are re-running the model based on the new layout however the intersection layouts will require a few iterations as options are tested with the model. The best option will then form the basis for the design team to revise the new layout and superimpose it over an aerial photo to facilitate discussions with stakeholders.

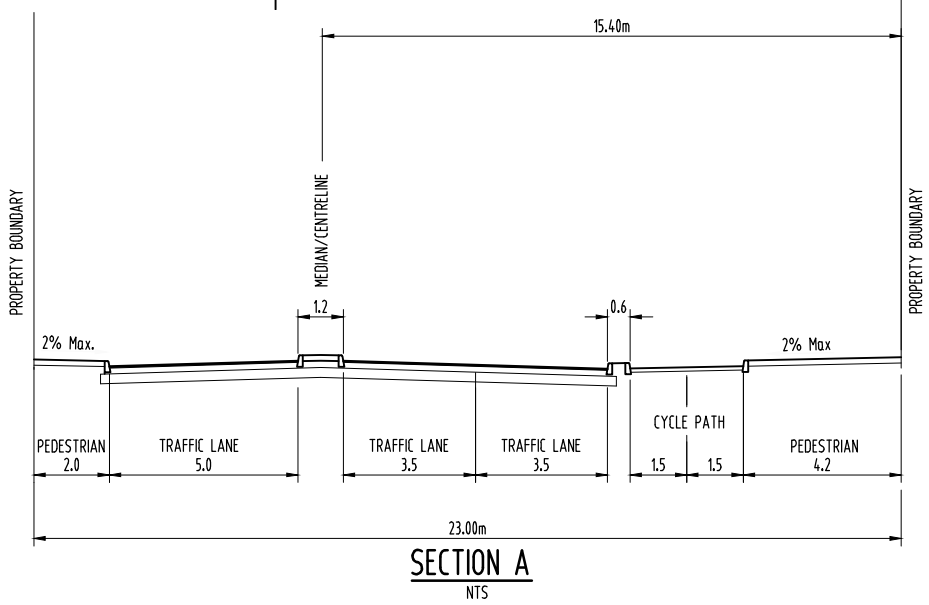
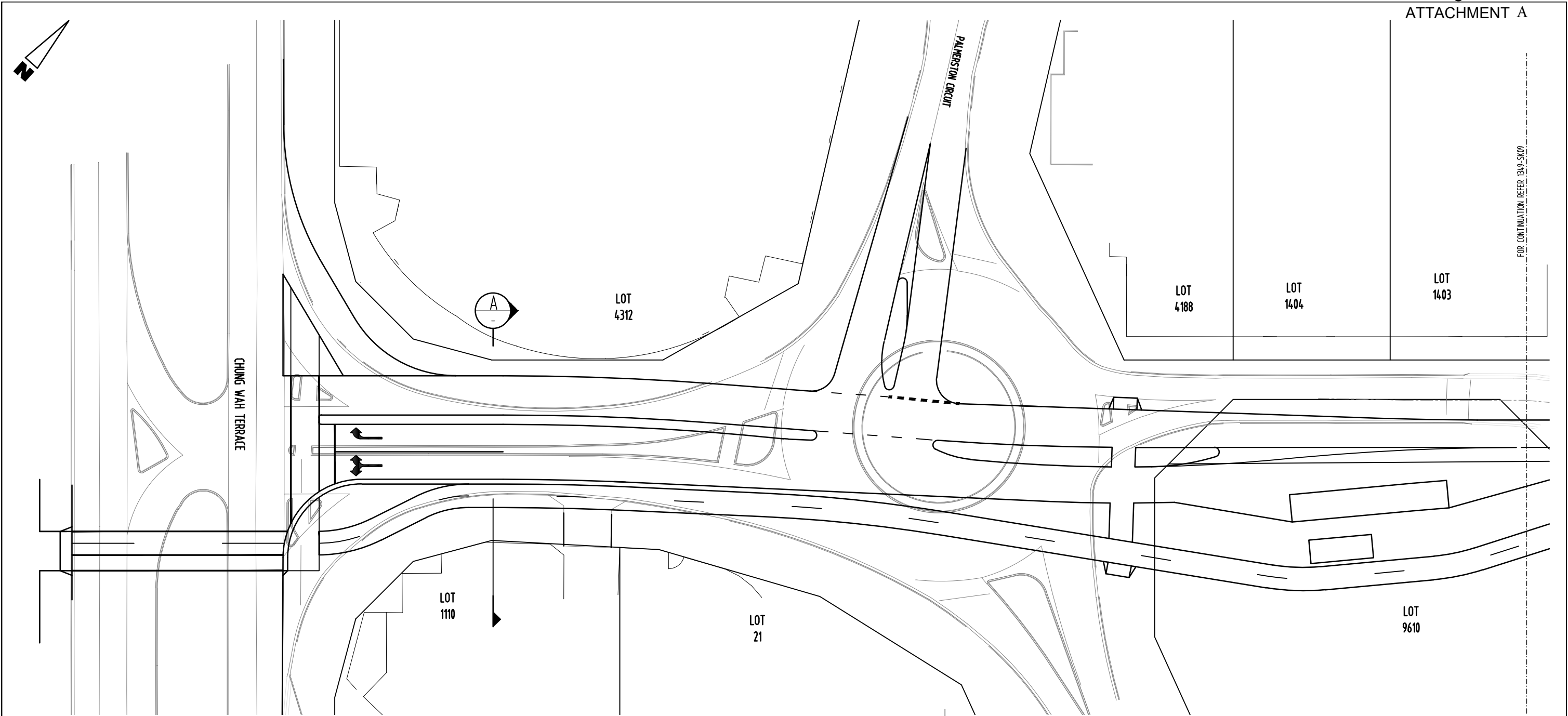
Please provide your input on each of the above immediate issues affecting the engineering design and advise how long you require to provide advice on the issues.

Regards

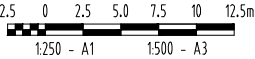
Gary

Gary Boyle | Major Projects Officer | City of Palmerston  
PO Box 1, Palmerston NT 0831 Australia | [www.palmerston.nt.gov.au](http://www.palmerston.nt.gov.au)  
P 08 8935 9926 | F 08 8935 9900 | M 0401 112 777 |  
[gary.boyle@palmerston.nt.gov.au](mailto:gary.boyle@palmerston.nt.gov.au)

Palmerston - A Place for People



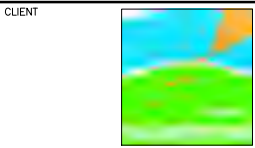
**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**  
The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



**PRELIMINARY**

C	21/4/16	SPB	ISSUED FOR COMMENT	
B	17/4/16	SPB	ISSUED FOR COMMENT	
A	17/4/16	SPB	ISSUED FOR COMMENT	
No	DATE	INITIAL	AMENDMENT	

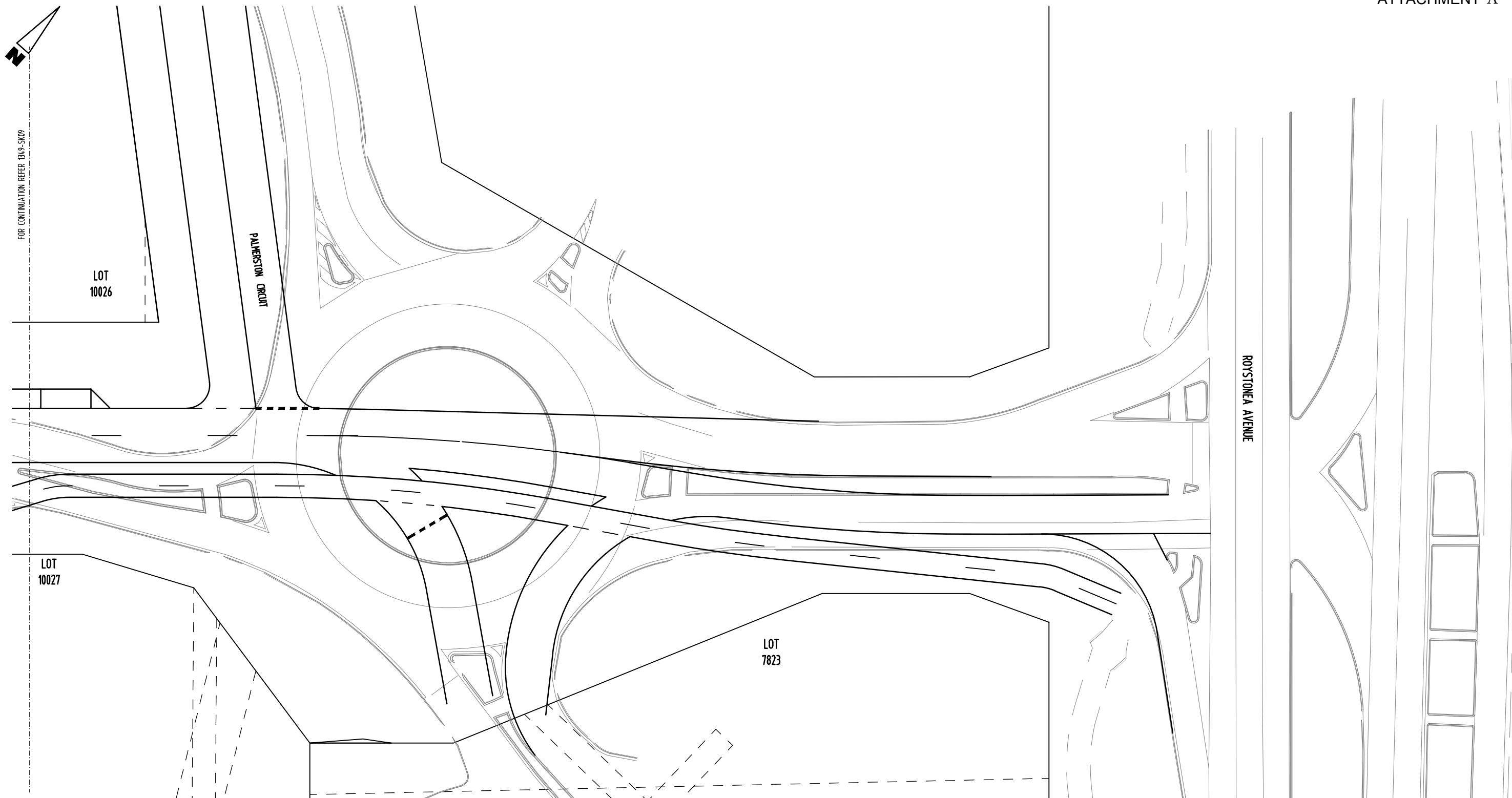
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**byrne design**  
ABN 78 124 388 192  
P.O.Box 43420 Casuarina NT 0811  
Ph. 08 89418113 Fax: 08 89418201

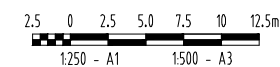
APPROVED	
DRAWN TG	CHECKED SPB
DESIGNED TG	CHECKED SPB

TITLE PALMERSTON BOULEVARD RECONSTRUCTION - ROBERTS DAY OPTION - SHEET 1 OF 3				
SCALE AS SHOWN	PROJECT No 1349	DRAWING No 1349-SK08	AMDT C	

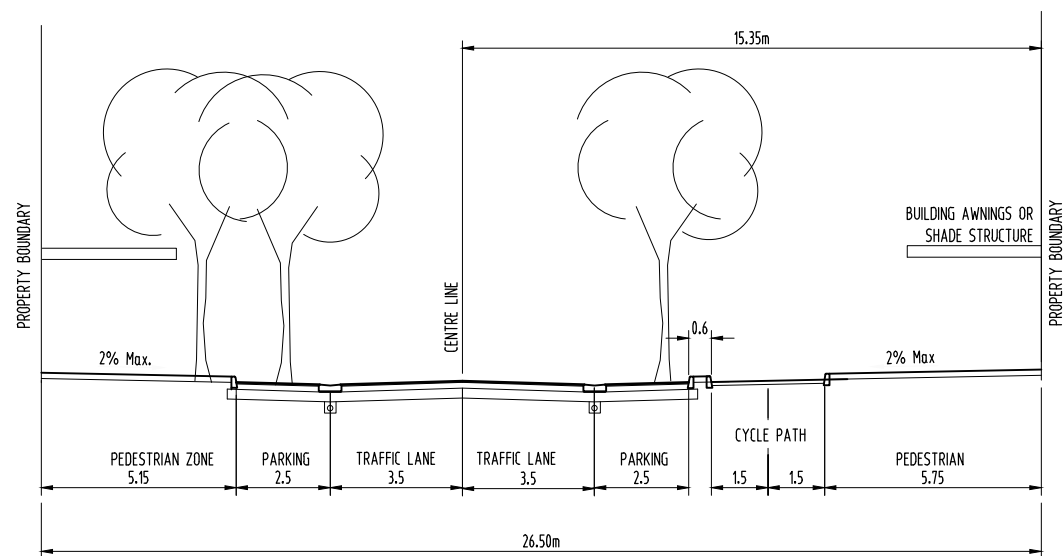
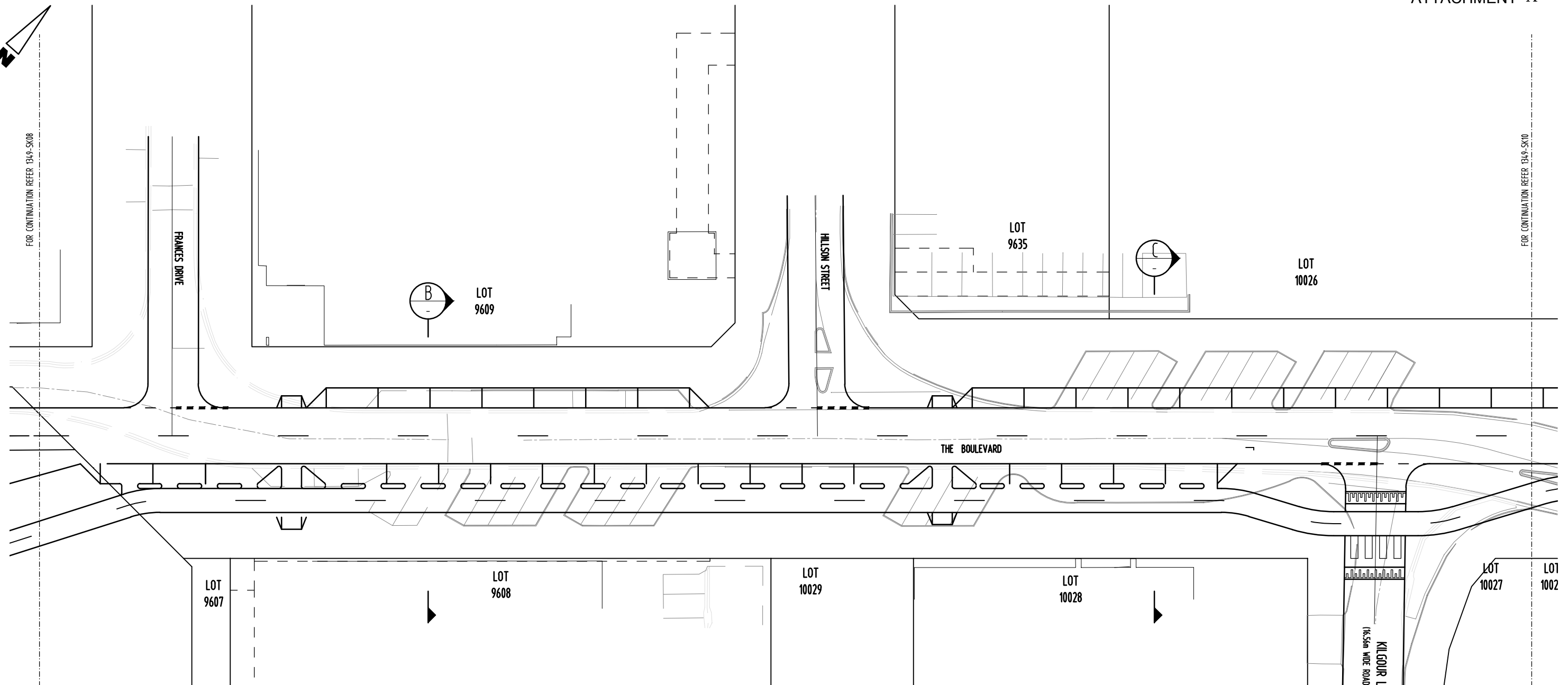


The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.

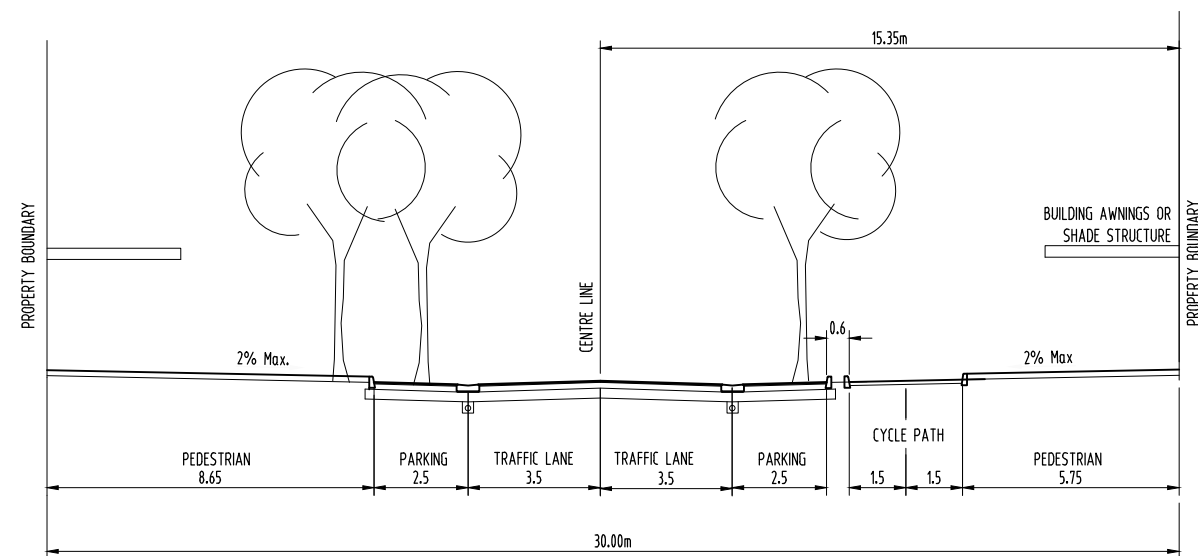
# PRELIMINARY

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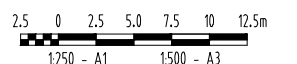


SECTION B  
NTS





SECTION C  
NTS

**PRELIMINARY**



**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**

The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.

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				The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.								DRAWN TG		CHECKED		SPB		PALMERSTON BOULEVARD RECONSTRUCTION - ROBERTS DAY OPTION - SHEET 2 OF 3							
C 21/4/14 SP8 ISSUED FOR COMMENT																									
B 17/4/14 SP8 ISSUED FOR COMMENT																									
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No DATE INITIAL AMENDMENT																		AS SHOWN		1349		1349-SK09		C	

**Caroline Hocking**

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**From:** Stephen Moore <Stephen.Moore@robertsday.com.au>  
**Sent:** Tuesday, 27 May 2014 4:07 PM  
**To:** Gary Boyle  
**Cc:** Mark Spangler; Ben Dornier  
**Subject:** RE: Information request - Roberts Day - The Boulevard Palmerston  
**Attachments:** RD1001K Base Plan Main St 1of3 (1).pdf; RD1001K Base Plan Main St 2of3 (1).pdf; RD1001K Base Plan Main St 3of3 (1).pdf; BusBulb.jpg; photo.JPG

Hi Gary,

Thank you for sending through the preliminary CAD concept for The Boulevard.

Whilst overall the concept is heading in the right direction, my advice is that it can still be evolved to be more place-led.

In particular, the two entries and bus stop zone appear to be overly engineered for a main street of this scale. Further, other details such as the pedestrian crossings not aligning with the major desire lines isn't putting people first.

To assist Council understand the potential, we have quickly updated the preliminary concept to illustrate these ideas.

In terms of your specific questions, my comments are:-

1. The Boulevard – signalized intersection should include bike signals / phasing integrated with pedestrian and cars
2. Bus Stop – consider a bus bulb to avoid the bus stop cutting into the park and control traffic (attached photograph)
3. Pedestrian crossings – on desire lines. Zebra crossings may be required in some instances. No need to control crossings elsewhere with railings etc.
4. Quest apartments – with our proposed redesign, the drop off area can be reconfigured to accommodate this existing need. Quest should be engaged on overall benefits of vision and their role as a early anchor
5. Paving detail – This should be integrated with the public realm vision. We have been thinking that we could do a contemporary 'French Drain' and tree channels to express the water during the wet season, whilst creating the opportunity for different types of greenery. On this, the protection zone of the bike lanes should include planters. Happy to work this through in more detail with your approval.

Happy to discuss after you have absorbed.

Regards,

**Stephen Moore**  
principal  
m+61 400 226 581

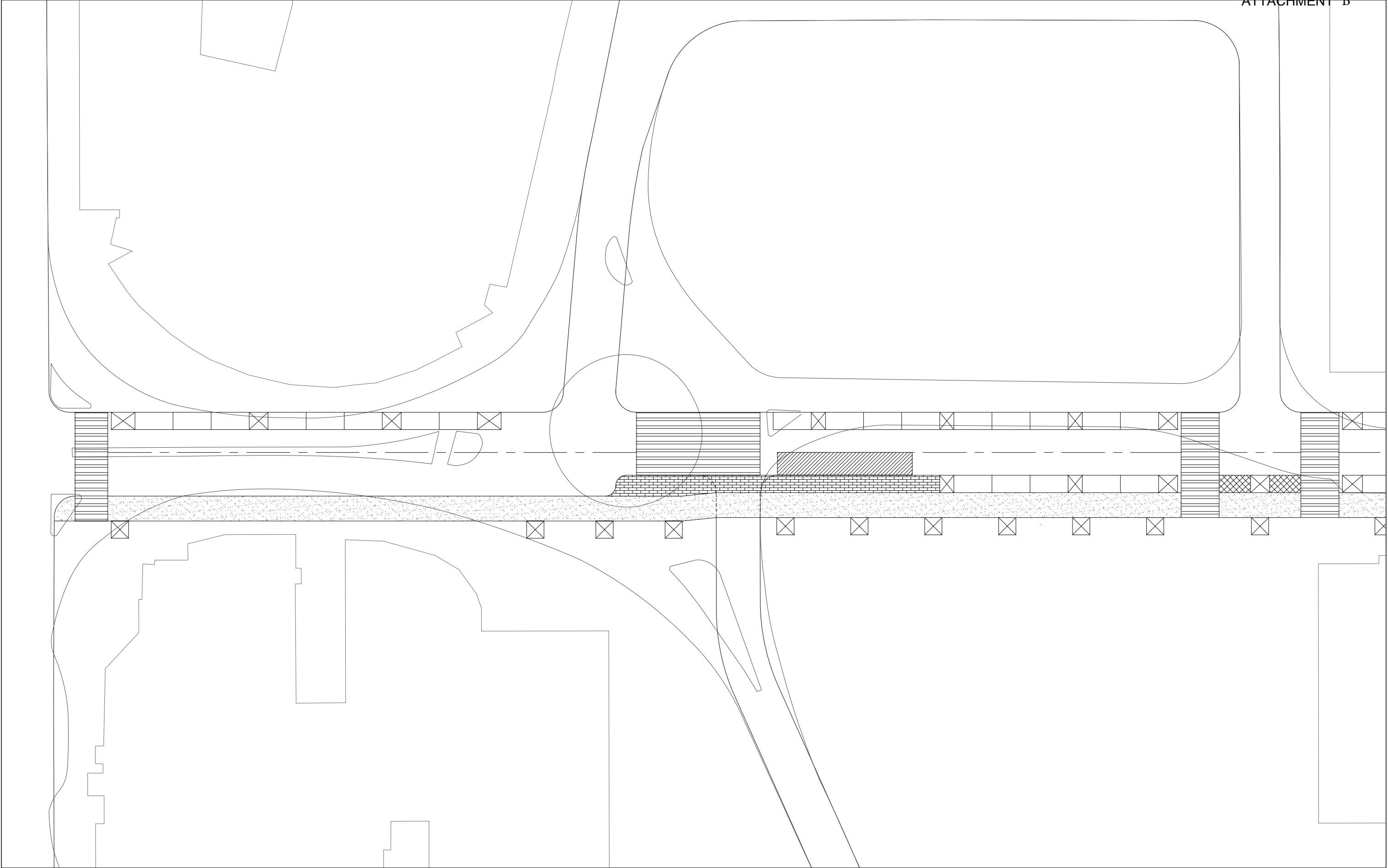
RobertsDay  
*planning•design•place*

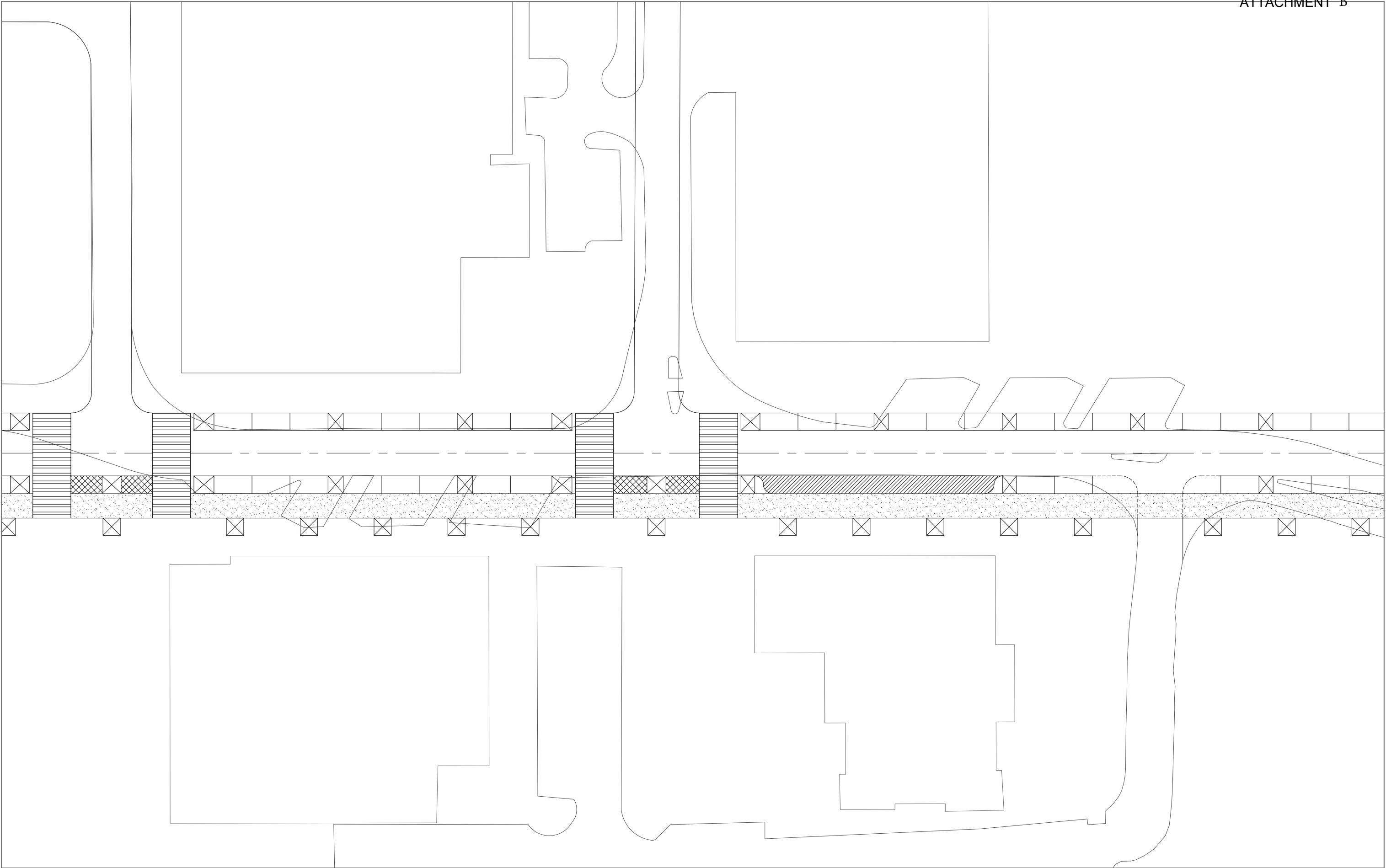


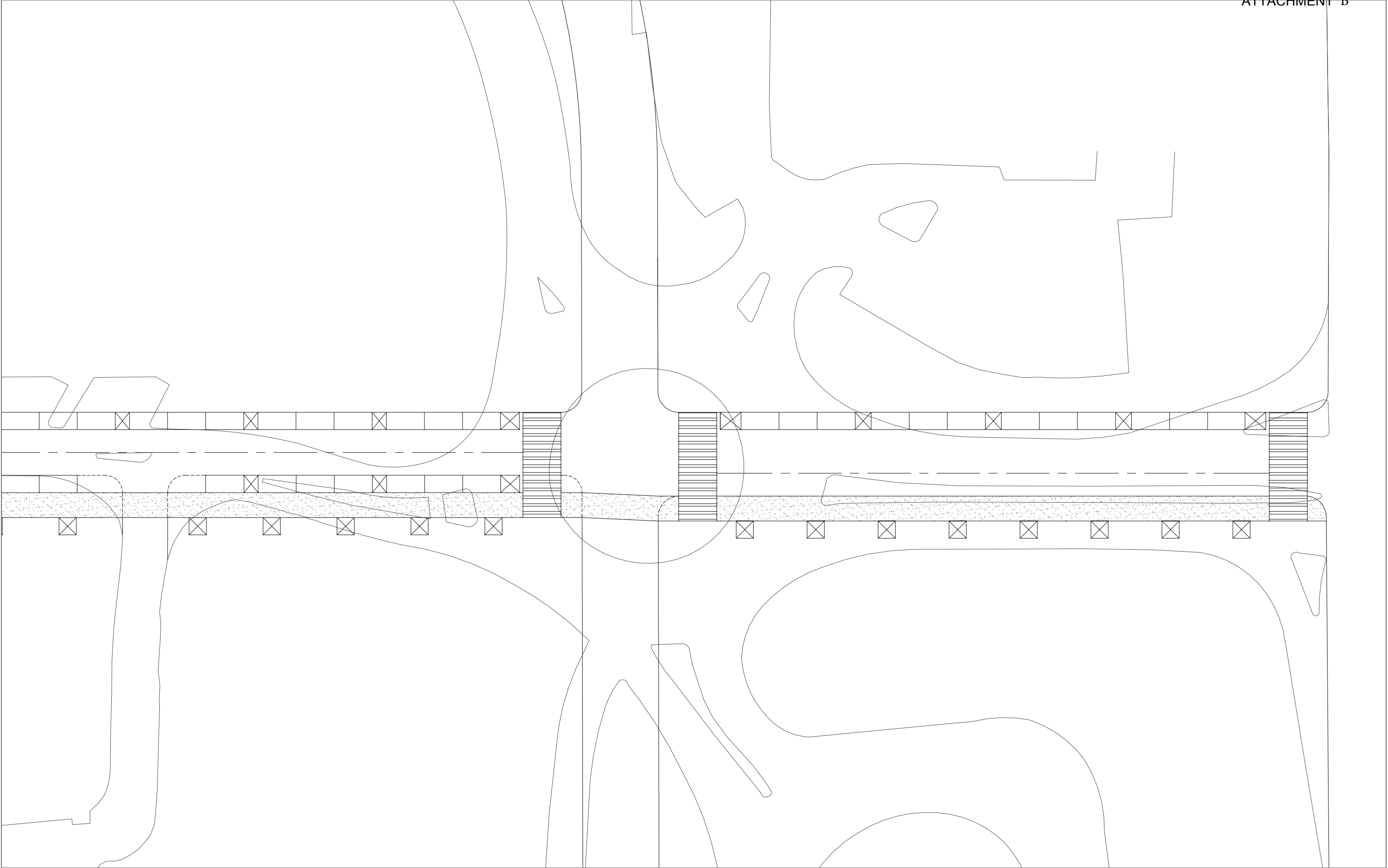






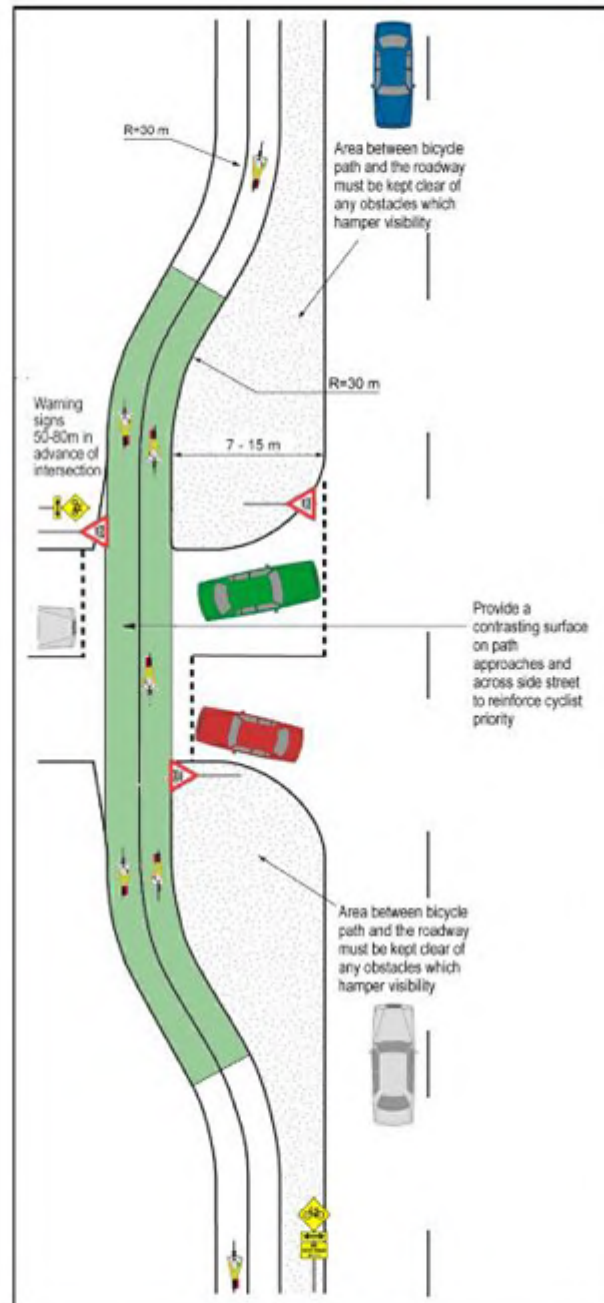






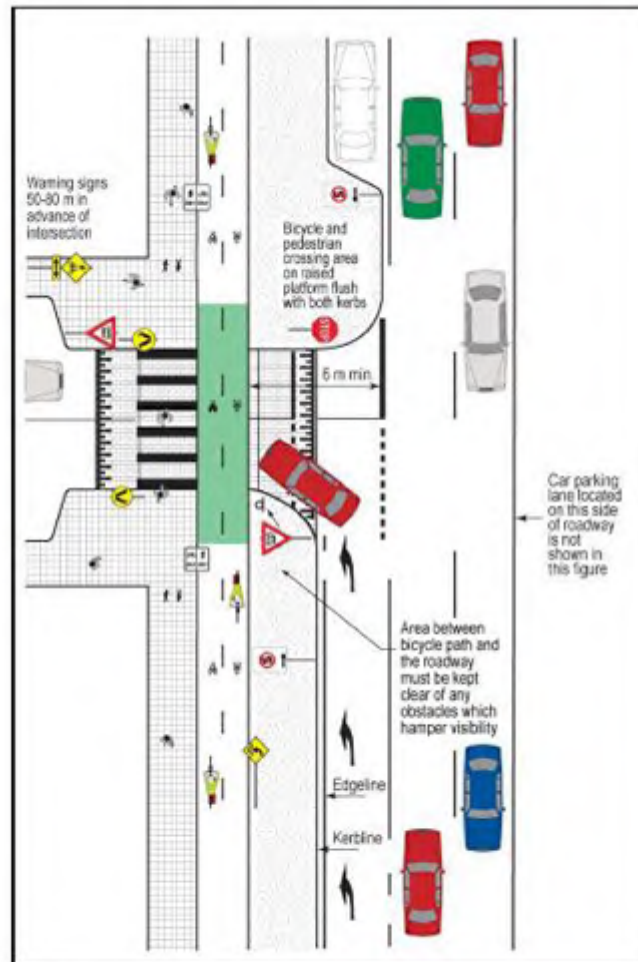


## ATTACHMENT C



Source: Figure 9.9 of Austroads 2009h. Based on RTA (2005).

**Figure 7.9: Bicycle path crossing bent-out at side road**

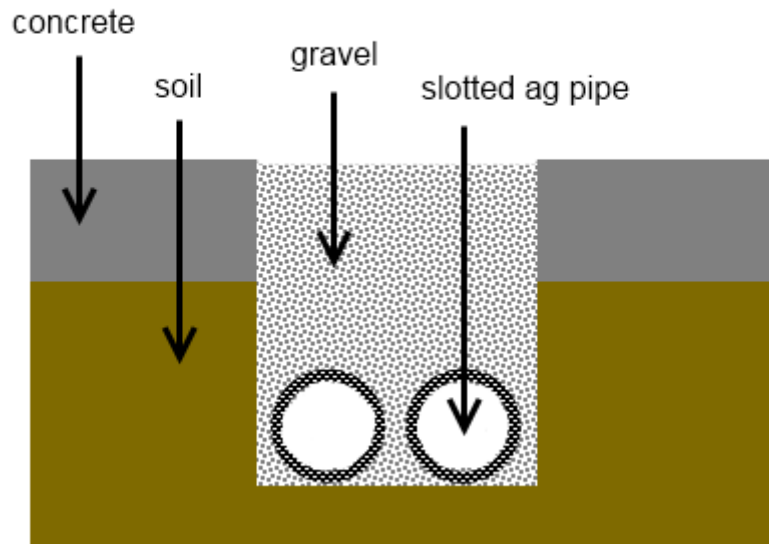


Source: Figure 9.10 of Austroads (2009h). Based on RTA (2005).

**Figure 7.10: Bicycle path crossing (not bent-out at side road)**

ATTACHMENT D

### French Drain Construction









**CITY OF PALMERSTON**

**Minutes of Confidential Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 5 August 2014 at 8.52pm**

**RELEASED TO THE PUBLIC RECORD**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Heather Malone  
Alderman Paul Bunker  
Alderman Andrew Byrne  
Alderman Geoff Carter  
Alderman Sue McKinnon  
Alderman Seranna Shutt

**Staff:** Ricki Bruhn, Chief Executive Officer  
Ben Dornier, Director of Corporate and Community Services  
Mark Spangler, Director of Technical Services  
Caroline Hocking, Minute Secretary

**2. APOLOGIES**

Nil

**3. DEPUTATIONS / PRESENTATIONS**

Nil

**4. OFFICER REPORTS**

**4.1 Discharge Statutory Charge on Lot 9636 Town of Palmerston 8/0525**

Moved: Alderman Carter  
Seconded: Alderman McKinnon

1. THAT Council receives Report Number 8/0525.
2. THAT the Mayor and Chief Executive Officer be authorised to sign and seal the application to discharge statutory charges on Lot 9636 Town of Palmerston.
3. THAT the Resolutions only come back into the Open Session.

**CARRIED 8/1202-05/08/2014**

**Correction of anomalies and Discharge Statutory Charge**

Moved: Deputy Mayor Malone  
Seconded: Alderman Carter

THAT the matter be retrieved from the table.

**CARRIED 8/1203–05/08/2014**

Moved: Alderman Byrne  
Seconded: Alderman Bunker

2. THAT Council approve the write off of the current legal fees and interest due to anomalies as per Section 166 of the Local Government Act and Section 4.4 of the City of Palmerston Policy FIN17 Rates Concessions.
3. THAT the Mayor and Chief Executive Officer be authorised to sign and seal the application to discharge statutory charges on Lot 1072 Town of Palmerston.
4. THAT the Cridlands legal advice be attached to the confidential minutes of this meeting.
5. THAT the Resolutions only come back into the Open Session.

**CARRIED 8/1204–05/08/2014**

**REPORT AND ASSOCIATED DOCUMENTATION TO REMAIN CONFIDENTIAL AND NOT AVAILABLE FOR PUBLIC INSPECTION FOR A PERIOD OF 5 YEARS AS PER RESOLUTION NUMBER 8/1177-15/07/2014.**

**5. MOVE TO OPEN**

Moved: Alderman McKinnon  
Seconded: Deputy Mayor Malone

THAT the Council move into the open session.

**CARRIED 8/1205–05/08/2014**

The meeting moved to the Open Session at 8.57pm.

**CONFIRMED AT MEETING TO BE HELD 19 AUGUST 2014**

---

(Chair)

**ITEM NO.** 17.1      **Discharge Statutory Charge on Lot 9636 Town of Palmerston**

**FROM:** Director of Corporate and Community Services  
**REPORT NUMBER:** 8/0525  
**MEETING DATE:** 5 August 2014

---

**Municipal Plan:**

**4. Governance & Organisation**

**4.1 Responsibility**

We are committed to corporate and social responsibility, the sustainability of Council assets and services, and the effective planning and reporting of Council performance to the community

**Summary:**

With the meeting held on the 1 April 2014 Council approved to send Lot 9636 into the process of power of sale of land for non-payment of rates under Northern Territory Local Government Act. The owner has satisfied the liability to which the charge relates in full and Council must apply to cancel the registration of statutory charge on the title under Section 171 (5) Local Government Act.

**Background:**

Division 3 Overriding statutory charge

*171 Registration of charge*

- (1) After rates have been in arrears for at least 6 months, the council may apply to the appropriate registration authority for registration of the charge over the land to which the charge relates.
- (2) The registration authority must, on payment of the appropriate fee by the council:
  - (a) register the charge as an overriding statutory charge; and
  - (b) notify all persons with a registered interest in or over the land of the registration of the charge.
- (3) Failure to give notice of the registration of the charge under subsection (2) (b) does not invalidate the registration of the charge.
- (4) A registration authority must cancel registration of a charge if the council applies for the cancellation.
- (5) The council must apply for cancellation if the liability to which the charge relates is fully satisfied, and may apply for cancellation for any other reason.

**General:**

The Residential property on Lot 9636 Gray has had a registered statutory charge on the title since April 2014. Since then the owner has paid the account in full.

Under Section 171 (5) Local Government Act Council must apply for cancellation if the liability to which the charge relates is fully satisfied.

**Financial Implications:**

Cost for the application to discharging the statutory charge on the title will be charged onto the rates account and will not be at any cost to council.

**Policy Legislation:**

Division 3 Section 171 of the Local Government Act.

**RECOMMENDATION**

1. THAT Council receives Report Number 8/0525.
2. THAT the Mayor and Chief Executive Officer be authorised to sign and seal the application to discharge statutory charges on Lot 9636 Town of Palmerston.

**Recommending Officer:** Ben Dornier, Director of Corporate and Community Services

Any queries on this report may be directed to Ben Dornier, Director of Corporate and Community Services on telephone (08) 8935 9976 or email [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au).

**Schedule of Attachments:**

Attachment A – Application Form to discharge registration of statutory charge for Lot 9636

*Land Title Act*  
REGISTRAR-GENERAL'S DIRECTIONS



NORTHERN TERRITORY OF AUSTRALIA

<b>W</b>	<b>C</b>	<b>No:</b>
----------	----------	------------

**IMPORTANT NOTICE**

Please Note Privacy Statement Overleaf

**DISCHARGE OF  
STATUTORY CHARGE**

The applicant, a person registered as being entitled to the benefit of a statutory charge on the land described below and which charge has been spent, applies to the Registrar-General to discharge the charge. (NOTES 1 – 2)

Register	Volume	Folio	Location	Lot Description	Plan	Unit
CUFT	742	172	Town of Palmerston	Lot 9636	U2009/0 27	54

(NOTE 3)

Applicant:

City of Palmerston, PO Box 1, Palmerston, NT, 0831

(NOTE 4)

Details of statutory  
Charge:

Overriding Statutory Charge by City of Palmerston, pursuant to section 171 of the Local Government Act (NT). LTO Instrument No:

(NOTE 5)

The **Common Seal of City of Palmerston** was duly affixed hereunto in pursuance of a resolution of the Council:

.....  
Signature of the Mayor – Ian Abbott

(NOTES 2  
& 6)

.....  
Signature of Chief Executive Officer – Ricki Bruhn

On (Date) .....

**SCHEDULE OF NOTES**

1. This application shall be lodged as an original only and must be typed or completed in ink or biro. Alterations to information entered on the form should be crossed out (not erased or obliterated by painting over) and initialled by the parties.
2. This application can be made by a lawyer or agent if the Registrar-General is satisfied that the lawyer or agent is acting under authority.
3. Insert Volume and Folio references and complete parcel description.
4. Insert Applicant's name.
5. Insert details of Statutory Charge (ie. overriding Statutory Charge by Power and Water Corporation LTO Instrument No:
6. Persons who may witness this document are a Commissioner for Oaths, a member of the Legislative Assembly, a legal practitioner within the meaning of the *Legal Profession Act*, a person holding office under the *Supreme Court Act*, the *Justices Act*, the *Local Court Act* or the *Registration Act*, a member of the Police Force, a person licensed as a conveyancing agent or real estate agent under the *Agents Licensing Act*, a Notary Public and any other person approved by the Registrar-General.

A witness to an instrument executed by an individual must first:

- take reasonable steps to ensure that the individual is the person entitled to sign the instrument;
- have the individual execute the document in the presence of the witness;
- not be a party to the instrument; and
- if witnessing more than one signature, clearly state that he/she has witnessed more than one signature. (ie I have witnessed the two signatures appearing above).

After signing, witnesses must legibly write, type or stamp their names and contact address or telephone number below their signature.

For a corporation, an instrument must be executed in a way permitted by law or sealed with the corporation's seal in accordance with the *Law of Property Act*, Section 48.

For witnessing of instruments executed outside the Northern Territory refer to Schedule 1 of the *Land Title Act* and the Registrar-General's Direction.

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**PRIVACY STATEMENT – LAND REGISTER FORMS**

The Registrar-General's Office is authorised by the Land Title Act to collect the information on this form for the establishment and maintenance of the Land Register, which is made available for search by any person, anywhere, including through the Internet, upon payment of a fee. The information is regularly provided to other NT Government agencies, the Australian Valuation Office, local governments, the Australian Bureau of Statistics, the Australian Taxation Office or other Commonwealth Agencies as required or authorised by law, and some private sector organisations for conveyancing, local government, valuation, statistical, administrative and other purposes. The Department of Lands, Planning and the Environment also uses the information to prepare and sell or licence property sales reports to commercial organisations concerned with the development, sale or marketing of property.

Failure to provide the information in full or in part may prevent your application or transaction being completed.

Your personal information provided on this form can be subsequently accessed by you on request. If you have any queries please contact the Deputy Registrar-General on 8999 5318.

**CITY OF PALMERSTON**

**Minutes of Confidential Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 19 August 2014 at 8.01pm**

**RELEASED TO THE PUBLIC RECORD**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Deputy Mayor Heather Malone  
Alderman Paul Bunker  
Alderman Andrew Byrne  
Alderman Geoff Carter  
Alderman Sue McKinnon  
Alderman Seranna Shutt

**Staff:** Mark Spangler, Acting Chief Executive Officer  
Ben Dornier, Director of Corporate and Community Services  
Caroline Hocking, Minute Secretary

**2. APOLOGIES**

Nil

**3. DEPUTATIONS / PRESENTATIONS**

Nil

**4. OFFICER REPORTS**

**4.1 Application for Remission of Interest on Lot 1662**

**8/0527**

Moved: Alderman Bunker  
Seconded: Deputy Mayor Malone

1. THAT Council receives Report Number 8/0527.
2. THAT Council approves the remission of interest for the period to 30 June 2015 for Lot 1662.

**CARRIED 8/1222–19/08/2014**

**5. MOVE TO OPEN**

Moved: Alderman Carter  
Seconded: Alderman McKinnon

THAT the Council move into the open session.

**CARRIED 8/1223–19/08/2014**

The meeting moved to the Open Session at 8.04pm

**CONFIRMED AT MEETING TO BE HELD 2 SEPTEMBER 2014**

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(Chair)



**ITEM NO.** 17.1 **Application – Remission of Interest for Lot 2849**

**FROM:** Director of Corporate and Community Services

**REPORT NUMBER:** 8/0527

**MEETING DATE:** 19 August 2014

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**Municipal Plan:**

**4. Governance & Organization**

**4.1 Responsibility**

We are committed to corporate and social responsibility, the sustainability of Council assets and services, and the effective planning and reporting of Council performance to the community.

**Summary:**

To seek council consideration for the remission of interest levied on Assessment No. 105531 for the remainder of the 2014/2015 financial year due to financial hardship.

In accordance with policy FIN17, any application for remission of interest needs to be presented to council for consideration.

**General**

An application for financial hardship has been received from a Financial Counsellor working for Somerville Community Services Inc. on behalf of the owner of Assessment No. 105531 for Lot 1662.

This property has been owned by the current ratepayer since 2001 with the owner experiencing financial hardship in previous years. The owner is currently making regular direct debit payments of \$50 per fortnight with these payments increasing as circumstances allow.

This application appears to demonstrate genuine financial hardship and the owner has requested that council grant a remission of interest through to 30 June 2015 to allow for the arrears owing to be paid off without further fines being added. The owner has been reliable in making regular payments.

In accordance with the policy, if a ratepayer does not maintain a repayment plan, one written warning will be forwarded. Should the ratepayer fail a second time to maintain the repayment plan, the interest will immediately be reinstalled and the assessment will be referred back to the debt collection process.

**Financial Liability:**

Interest remission will be deferred on payments made but will not exceed \$290 for this period.

**Policy / Legislation:**

Pursuant to Part 11.7 Section 163 of the Local Government Act.

**Part 11.7 Interest on unpaid rates**

**163 Remission of interest**

A council may remit interest wholly or in part.

**FIN17 Rate Concession Policy**

**RECOMMENDATION**

1. THAT Council receives Report Number 8/0527.
2. THAT Council approves the remission of interest for the period to 30 June 2015 for Lot 1662.

**Recommending Officer:** Ben Dornier, Director of Corporate and Community Services

Any queries on this report may be directed to Ben Dornier, Director of Corporate and Community Services on telephone (08) 8935 9976 or email [ben.dornier@palmerston.nt.gov.au](mailto:ben.dornier@palmerston.nt.gov.au)

**Schedule of Attachments:**

Nil

**CITY OF PALMERSTON**

**Minutes of Confidential Council Meeting  
held in Council Chambers, Civic Plaza, Palmerston  
on Tuesday, 23 September 2014 at 8:24pm**

**RELEASED TO THE PUBLIC RECORD**

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**1. PRESENT**

**Elected Members:** His Worship the Mayor Ian Abbott (Chair)  
Alderman Paul Bunker  
Alderman Andrew Byrne  
Alderman Geoff Carter  
Alderman Seranna Shutt

**Staff:** Ricki Bruhn, Chief Executive Officer  
Ben Dornier, Director of Corporate and Community Services  
Mark Spangler, Director of Technical Services  
Gary Boyle, Major Projects Officer  
Caroline Hocking, Minute Secretary

**2. APOLOGIES**

Deputy Mayor Malone – Leave of absence  
Alderman Sue McKinnon – Leave of Absence

**ACCEPTANCE OF APOLOGIES AND LEAVE OF ABSENCE**

Moved: Alderman Carter  
Seconded: Alderman Byrne

THAT the leave of absence received by Deputy Mayor Malone and Alderman McKinnon, be received and granted.

**CARRIED 8/1264–23/09/2014**

**3. DEPUTATIONS / PRESENTATIONS**

Nil

**4. OFFICER REPORTS**

**4.1 The Boulevard – Design Update**

**8/0549**

Moved: Alderman Bunker  
Seconded: Alderman Carter

1. THAT Council receives Report Number 8/0549.

**4.1 The Boulevard – Design Update (continued)**

**8/0549**

2. THAT Council delegates to the Chief Executive Officer the ability to negotiate and approve all variations with BMD Urban necessary for the successful and timely completion of The Boulevard Stage 1 construction project, where variations must be within the available project budget.
3. THAT the resolutions only come back into the Open Session.

**CARRIED 8/1265–23/09/2014**

**5. MOVE TO OPEN**

Moved: Alderman Carter  
Seconded: Alderman Bunker

THAT the Council move into the open session.

**CARRIED 8/1266–23/09/2014**

The meeting moved to the Open Session at 8:40pm

**CONFIRMED AT MEETING TO BE HELD 7 OCTOBER 2014**

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(Chair)

**ITEM NO.** 17.1      **The Boulevard – Design Update**

**FROM:** Director of Technical Services

**REPORT NUMBER:** 8/0549

**MEETING DATE:** 23 September 2014

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**Municipal Plan:**

**2. Economic Development**

**2.3 City Planning**

We are committed to effective and responsible city planning which balances and meets both residential and commercial needs in our community

**Summary:**

Council sought tenders for the construction of The Boulevard based on 60% design drawings. Council subsequently awarded the construction contract to BMD urban. Council has also commissioned Roberts Day to undertake the planning and design of the city centre open space. Changes to the final design, the city centre open space streetscape plan and a number of construction issues means that a number of variations will need to be approved in a timely manner to ensure that the project is able to be completed by the end of 2014. Council approval is sought for the Director Technical Services and the Chief Executive Officer to negotiate with BMD Urban and approve all variations necessary for the successful and timely completion of The Boulevard Stage 1 construction project. All variations must be within the:

- Officer's delegated purchasing level per transaction ; and
- available project budget.

**Background:**

Council approved (Decision 8/1142) proceeding to tender as soon as practicable for The Boulevard Stage 1 works. As reported to Council:

- the project was subject to a number of risks with time and cost being considered the main risks
- in order for construction of Stage 1 to be completed prior to Christmas 2014, the request for tender was issued using drawings (*60% design - for tendering purposes only*) with final drawings (*issued for construction*) available prior to works commencing

Following tender assessment, Council approved (Decision 8/1182) award of the Boulevard construction contract to BMD Urban. The indicated value of the contract was \$2,148,942 (ex GST).

Council also commissioned Roberts Day to undertake a series of related parallel projects:

- review of the city centre Master Plan
- develop a public realm strategy
- plan and design the city centre open space

These projects are related and inform the design of The Boulevard. The Boulevard design team has been working with Roberts Day to ensure The Boulevard works match the vision for the city centre.

### **Consideration of the Issues:**

Design aspects of the project such as:

- street lighting
- kerbing
- tree species

are being negotiated between the Boulevard design team and Roberts Day. Street lighting will be matched to the new LED lighting in Goyder Square, the kerb is to be 300mm wide and cast in-situ by hand and palm tree species for street planting have been selected as *Livistona* sp similar to those palm trees used for the Darwin Waterfront.

Sufficient progress has been made with streetscape negotiations to estimate the quantum of the likely variations associated with these aspects of the project:

<b>Project Aspect</b>	<b>Estimated Variation</b>
Street lighting poles (10)	\$70,000
Street lighting luminaires (15)	\$50,000
Kerbing (435 linear m)	\$33,000
Palm Trees (5)	\$30,000
<b>Total</b>	<b>\$183,000</b>

It is likely that a number of other variations will be required to be negotiated with BMD over the duration of the contract such as changes to the replacement water main. Purchase of items such as the traffic light controller did not form part of the original contract and will either be a variation or direct purchased by the City of Palmerston.

Council policy limits approval of variations by Directors to 5% of the project sum which in this construction contract is \$107,447 (ex GST).

**Financial Implications:**

The allocated construction budget for The Boulevard is \$3,000,000 (ex GST).

The indicated value of the awarded contract is \$2,148,942 (ex GST).

Up to \$851,058 (ex GST) construction variations, purchases and other costs could be approved within the available budget.

**Legislation / Policy:**

City of Palmerston delegations enable Directors to:

*... approve total variations to contracts during the progress of works to a limit of 5% of the total contract sum in aggregate.*

**RECOMMENDATION**

1. THAT Council receives Report Number 8/0549.
2. THAT Council delegates to the Chief Executive Officer the ability to negotiate and approve all variations with BMD Urban necessary for the successful and timely completion of The Boulevard Stage 1 construction project, where variations must be within the available project budget.
3. THAT the resolution only come back into the Open Session.

**Recommending Officer:** Mark Spangler, Director of Technical Services

Any queries on this report may be directed to Mark Spangler, Director of Technical Services on telephone (08) 8935 9958 or email [mark.spangler@palmerston.nt.gov.au](mailto:mark.spangler@palmerston.nt.gov.au).

**Schedule of Attachments:**

Nil